



**DRAFT**  
**Master Site Development Plans**

# Koons Park / Wolfersberger Park

Lower Paxton Township, Dauphin County, PA





PREPARED FOR:  
LOWER PAXTON, DAUPHIN, PENNSYLVANIA



**SUPERVISORS:**

William B. Hawk, Chairman  
David Blain, Vice Chairman  
William C. Seeds  
William L. Hornung  
George Wolfe, Manager  
Brian W. Luetchford, Director of Parks and Recreation

**MASTER PLAN COMMITTEE:**

Mary Jane Hornung	Charles Frushon
Neal Johnson	Thomas George
Robert MacIntyre	Dennis Guise
John Scola	Debbie Hoachlander
Jim Seidler	Lori Wissler
Stan Smith	

**THIS STUDY WAS PREPARED BY:**



SIMONE COLLINS LANDSCAPE ARCHITECTURE  
WALLOVER ARCHITECTS, INC.  
GROVE MILLER ENGINEERING, INC.  
PA FORESTRY & WILDLIFE CONSULTANTS, LLC

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# EXECUTIVE SUMMARY

The 2013 Master Plan for Koons and Wolfersberger Parks was conceived by Lower Paxton Township as a strategy to coordinate the rehabilitation and development of the two municipal properties, respectively, as “sister” parks over a multi-year period.

Both parks are located in an area of the Township commonly referred to as Linglestown. The planning of both properties continues the tradition of commitment by generations of elected Township officials and citizens over the past 50 years to acquire, build, and maintain an exemplary municipal park system as essential civic infrastructure.

Staying true to these principles, Lower Paxton supervisors have achieved notable successes, including operating Koons Park since 1958; building the Friendship Center municipal recreation facility in 2000; and acquiring clear title to the 93-acre Wolfersberger Tract in 2013 over a 12-year financing period.

In 2012, Lower Paxton entered into a grant partnership with the Pennsylvania Department of Conservation and Natural Resources (DCNR) to develop a master plan for both parks collectively that would determine the highest and best uses for both assets with a strategy to “phase” improvements to these municipal recreation resources within the Township’s historically sound fiscal management policies. The master plan was initiated with the common understanding that the funding to conduct the entire redevelopment process was not currently available, but that it was essential to articulate a common vision as a blueprint for park development over time.

The master planning of Koons and Wolfersberger Parks featured an extensive public participation process including: six Master Plan Committee meetings, four public meetings, “key person” interviews, a public survey, and three meetings with an actively engaged Board of Supervisors.

Following the public consensus-building process, a strategy was recommended to improve both parks over a period of approximately 15 years – at a cost of approximately \$10M (in 2013 dollars) for the preferred improvements.

The strategy to rehabilitate Koons Park is linked to development of Wolfersberger through a series of discrete projects within each park that enables the Township to develop new facilities at Wolfersberger to help relieve the intense demands on Koons Park – especially when existing facilities need to go “off-line” for rehabilitation, replacement or relocation.

The community vision for Koons Park includes:

- Improve / increase parking and park access – including pedestrian access
- Upgrade / reorient / replace substandard fields and deteriorated park facilities
- Remediate on-site storm water issues by designing facilities as natural amenities in each phase
- Retain the focus of Koons as a youth, active sports-oriented park, but add other amenities
- Relocate the salt dome and maintenance building from Koons to Wolfersberger

- Add play grounds, pavilions, spray pool, volleyball, concession, and other amenities
- Support efforts by civic organization(s) to maintain and eventually replace the existing pools

The community vision for Wolfersberger Park includes:

- A mix of new multi-use fields with protection of existing wetlands, woodlands
- A series of walking trails to provide passive uses for multiple ages
- Two softball fields (relocated from Koons Park)
- Four tennis courts (relocated from Koons Park)
- A dog park with a second possible location
- Immediate retention of private paintball concession in described areas of the northern half.
- Two vehicular entrances to the new park with perimeter interior road and dispersed parking
- A relocated salt dome and new township maintenance building
- Stormwater management system, and wetland boardwalk / overlooks
- A picnic grove, sled hill, playground and tot lot

Funding to design and construct these improvements over time will need to be secured from multiple sources by engaging in creative partnerships. DCNR is envisioned as an active, state-level partner in future construction phases. Township leaders will need to confirm the recommendations in the master plan and apply those priorities to the monies available in any given year.

Especially important are funds or in-kind “values” that Lower Paxton Township can contribute to “leverage” other funding sources. It may be that other municipal budget categories or projects can contribute to the Koons/Wolfersberger improvements – such as importing fill material from a municipal sewer upgrade project, or budgeting municipal road funds to street/parking/access improvements to create the new perimeter parking systems. Developer fees may be dedicated toward improvements at Wolfersberger or Koons at the discretion of the Township supervisors.

Private organizations such as dog clubs and sports clubs have the capacity to assist the Township with capital projects and maintenance. The swim team may become the champion to eventually build a modern facility to replace the beloved Koons Park pool. Private organizations that enter into cooperative partnerships with the Township have a much stronger position to solicit private foundation funding.

Over the next 15 years, new opportunities will present themselves that were not anticipated by the community during the master planning process. The master plan should be considered as a guidance document, that will need to be revisited by the community to confirm the original assumptions each time a new project is undertaken. Guided by a dedicated project committee, Lower Paxton Township has accomplished the challenging task of crafting a consensus vision for moving forward. Lower Paxton is now prepared to face future challenges like other communities across the nation that are successfully improving their civic and recreation resources.

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# CHAPTER 1: PROJECT INTRODUCTION

## KOONS PARK

Koons Park is a 27.95-acre park located in the Linglestown area of Lower Paxton. As the oldest park in the Lower Paxton Park System, it has gone through many generations of changes. Due to its age and heavy use, the Township determined that Koons Park was ready for a master plan update. This Master Plan will help ensure that this beloved park continues to serve future generations.

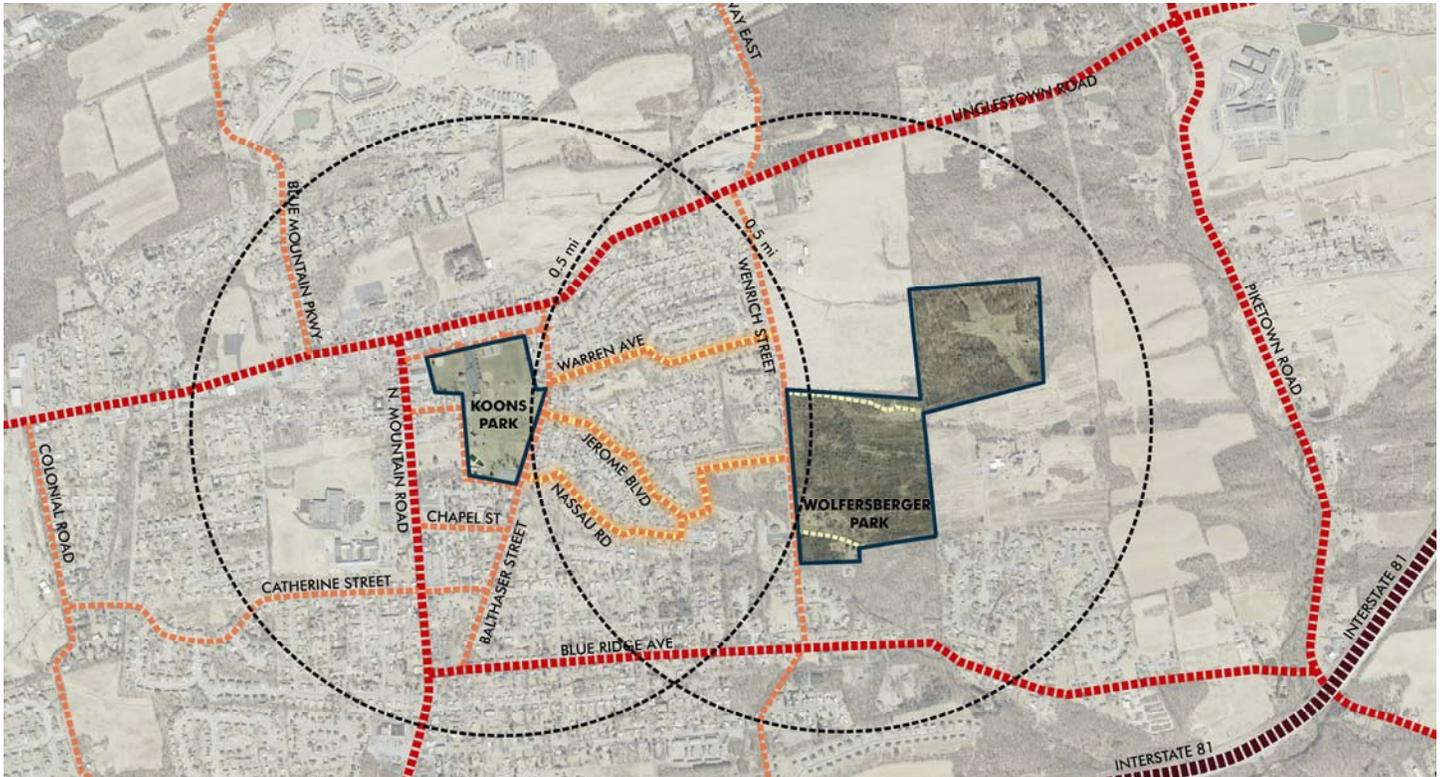
## WOLFERSBERGER PARK

Twelve years ago, Lower Paxton was presented with the opportunity to purchase the 91.5-acre Wolfersberger Tract as a new township park. The Township acted with foresight to acquire the land knowing that additional acreage would be critical to meeting future recreation

needs. Today, Wolfersberger Park is undeveloped open space characterized by emerging forest and former agricultural fields. The final transfer of ownership to the Township occurred in January 2013, and the Township in partnership with the Department of Conservation and Natural Resources (DCNR) decided to combine master planning for Koons and Wolfersberger Parks.

The parks are located within one-half mile of each other, and will serve the same communities. The Township goal for the master plans was for the two parks to be developed as sister parks to create one plan that addresses both together.

Lower Paxton Township applied for and received a DCNR grant to prepare the master plans according to DCNR guidelines, with the understanding that the phasing of the plans will have to meet the current economic climate of the Township. This plan is the collaborative result of the public, project committee, township staff, consultants, and the Township Board of Supervisors. This document outlines the planning



**Figure 1.1** Koons Park and Wolfersberger Park are located within one-half mile of one another.

## GOALS & OBJECTIVES

- Provide master plans for Koons and Wolfersberger Parks that fit within the context of the Township's overall park system;
- Meet criteria for a DNCR master planning process;
- Develop a master plan that respects the natural features of the land and lands adjoining the park areas; and,
- Use sustainable design principles and materials where deemed appropriate.

process and provides a master vision for the future of both parks.

### Master Plan Goals & Objectives

The purpose and goals of this project is to develop a master site plan for Koons Park and Wolfersberger Park that will help meet the recreation needs of the Township's diverse population. The master plan will position the two parks as "sister parks". Preferred and feasible facilities for Wolfersberger Park are identified while preserving the quality of habitat inherent to the site. Facilities within Koons Park are identified for removal to relieve demand on the park and to allow for the creation of unstructured play. A common goal is that both parks will be a place that is not just a home to 'little leagues' but a true community destination and "re-creation" facility.

### Regional Context

Lower Paxton Township is a second class township located in south central Dauphin County, Pennsylvania. The Township has a total land area of approximately 28.1 square miles, and is considered an inner ring suburb to the capital city of Harrisburg. The southern portion of the

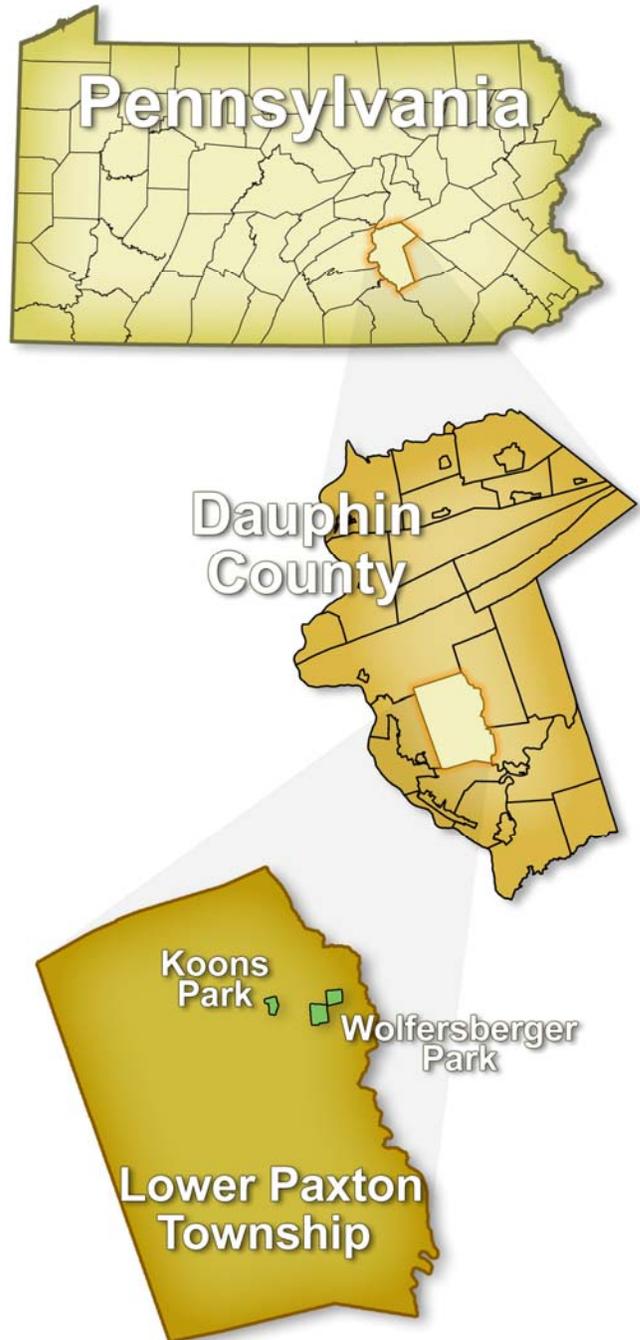


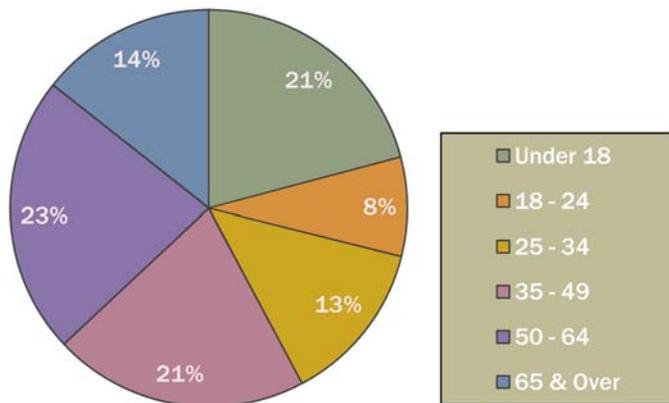
Figure 1.2 Project Location

Township is served by State Route 22 and Interstate 81 which connects to Harrisburg (about 5 miles to the west). The Township development pattern along the I-81/Route 22 corridor is distinctly denser than the more rural northern portion of the Township that is defined by the Blue Mountain ridge. This strategic location, coupled with ample highway access, has allowed the Township to become a fairly developed community with continuing development pressures.

the county and state. Based on the 2004 Comprehensive Plan, 68.1% of the 19,806 housing units are single family and 31.9% are multi-family, providing a more diverse housing stock when compared to surrounding townships in Dauphin County.

## Demographics

According to the 2010 US Census, Lower Paxton Township has a population of 47,360 residents. As depicted on the pie chart (below), Lower Paxton has a diverse population of young and old, creating a need for a full range of recreational facilities and uses.



**Figure 1.3 Lower Paxton Age Demographics**

The Township is a diverse and growing community that is expected to have the largest population of Dauphin County’s 40 municipalities within the next decade. This population growth is expected to slow as the Township reaches its “build-out” over the next twenty years. According to Comprehensive Plan projections, the Township will grow to approximately 54,000 persons by the year 2020, requiring 2,826 more housing units (2.35 persons per unit), as well as associated facilities, including parks and recreation.

Lower Paxton Township had a 6% increase from the 2000 population of 44,424 which is in line with the growth of

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## CHAPTER 2: EXISTING CONDITIONS & SITE ANALYSIS

### Municipal Parks and Recreation System

*“The mission of Lower Paxton Township is to improve the quality of life within the community by providing activities, facilities, and opportunities for enhanced physical, mental, and social health.”*

-Lower Paxton Parks and Recreation.

#### TOWNSHIP RECREATIONAL OVERVIEW

Lower Paxton Township has 14 public park facilities comprising 378 acres. The Township system offers recreation facilities, including: (14) baseball fields; (10) softball fields; (6) soccer fields; (2) football fields; (14) tennis courts; (6) volleyball courts; (11) basketball courts; a bocce court; a racquetball court; (10) multi-purpose fields; Koons Memorial Park Pool - a privately-operated outdoor swim club; (11) picnic pavilions; 1-mile of nature trail; (10) playgrounds; the Friendship Community Center; and ancillary facilities. The Township Parks and Recreation Department is responsible for operation and maintenance of park land and offers over 300 recreation programs, trips, and special events. The Township Parks and Recreation Department is currently in the process of evaluating its system of facilities and services to assess the growing park system and recreational needs of Township residents.

The Township “partners” with local sports organizations to fulfill needs for sports fields. There are currently 32 youth and adult sports organizations that utilize the Township’s park facilities. It is estimated that these groups represent over 5,000 individuals participating in various active sports programs. The Township has experienced significant pressure to meet the needs of these organizations while attempting to keep their facilities in acceptable condition. With the addition of new sports organizations such as lacrosse, ultimate



Fig 2.1 Aerial photograph of existing Koons Park. (2008)



Fig 2.2 Aerial photograph of Wolfersberger Park. (2008)

## SPORTS ORGANIZATIONS

- Adult Kickball
- Adult Latin Soccer League
- Bishop McDevitt Soccer/Field Hockey
- CASA
- Central Dauphin Junior Lacrosse
- Central PA Ultimate Frisbee
- CPMSL-Softball
- -Cricket
- Grace Bible Fellowship Church
- Hope in Handball
- Harrisburg Christian School
- Holy Name Jesus Soccer
- Linglestown Baseball
- Linglestown Football Association
- Linglestown Softball Association
- Lower Paxton Senior Softball
- Paxton Athletic Association
- Paxtonia Athletic Association
- Penn Gardens Lions
- PHR Baseball
- St. Catherine Labourne Soccer
- State Employees Softball-West
- State Employees/Suburban Men's
- Suburban Summer Coed/Fall Coed
- MONY Senior Softball
- Central Pennsylvania Fast Pitch League
- Susquehanna Valley Baptist Church
- Future Stars Baseball
- American Softball Association of Pennsylvania
- AFS Youth Inline Hockey
- Catholic Charities
- Keystone Technical Institute

frisbee, and cricket, as well as the growth of existing groups, the Township has been forced to occasionally deny facility access due to over-subscription of applications. Additional future demands may also be expected by groups such as skateboarders, BMX bikers, sand volleyball players, dog owners, walkers/joggers, handballers, and bicyclists among others.

The Township would like to accommodate the needs of these organizations in addition to the needs of Township residents who are interested in other pursuits.

## Context of Koons and Wolfersberger Parks within the Township Park System

Koons Park and Wolfersberger Park are both located in the Linglestown neighborhood of Lower Paxton. Due to their size both parks will serve as regional parks. The Township has four other regional parks, each of which were visited by the design team to gain a better understanding of the Township recreational opportunities.

### *Active vs. Passive Recreation*

**Active recreation** parks are classified as parks with athletic fields for organized sports or other organized recreation activities.

**Passive recreation** parks contain minimal active facilities and are geared predominantly toward informal activities such as hiking trails, open field areas, and picnic areas.

In most parks there are a combination of active and passive recreation uses, with either active or passive recreation as a predominant use.

An analysis of the Township recreational facilities (without the Wolfersberger Tract) finds that approximately 201 acres (70%) of the Township's recreational properties are developed with active recreation uses such as ball fields and courts. The addition of the 91.5-acre Wolfersberger Tract provides the potential for increasing passive recreation uses.

## Township Recreation System Overview

### THOMAS B. GEORGE, JR. PARK

This park is a combination of existing park facilities and newly developed parkland making it the largest park in the Township at over 60 acres. The park is located in the southeastern portion of the Township bounded by Nyles Road to the east; Lamplight Park and residential development to the south, a residential development and business campus to the west; and Ranger Fields, Paxtonia Elementary School, and a church to the north. The park includes (7) soccer fields, a picnic pavilion, an in-line hockey rink, a playground, a nature area, and (6) baseball/softball fields.

### BRIGHTBILL PARK

This park is located in the central area of the Township (off Route 22) and is 41 acres. The park includes a pavilion, nature trail, (3) basketball courts, (4) tennis courts, (4) baseball/softball fields, as well as (1) all purpose field.

### KOHL MEMORIAL PARK

This park is 16 acres and is located in the southwestern portion of the Township on Dowhower Road, just off of Union Deposit Road. The park includes a pavilion, playground, nature trail, two softball fields, two handball/racquetball courts, two tennis courts, one basketball court, and one all purpose field.

### LINGLE PARK

This 20-acre park is located next to Kohl Park at the end of Pleasant Drive. The park includes a pavilion, playground, nature trail, (2) sand volleyball courts, (2) softball courts, and (1) all purpose field.

Additionally, the Township has many neighborhood parks (each less than 10 acres) including:

### CENTENNIAL ACRES PARK

This 4-acre park includes a pavilion, playground, (2) tennis courts, (1) basketball court and (1) all purpose field.



*Possibility Place playground in George Park*



*Parking at Brightbill Park located under overhead power lines.*



*Racquetball Courts at Kohl Park.*

### FOREST HILLS PARK

This park is located along Forest Hills Drive and includes (3) picnic tables, (1) tennis court, (1) basketball court, and (1) all purpose field.

### HOCKER PARK

This park is located on Blue Mountain Parkway and includes an informal picnic area, hiking along the Darlington Trail, a nature study, and look out points.



*Nature trail at Lingle park.*

NAME	ACRES	TYPE	LOCATION	FACILITIES
Brightbill Park	41	Community	Commons Drive (off of Route 22)	Pavilion, nature trail, softball/baseball fields, all purpose field, basketball & tennis courts
George/Ranger Park	46	Community	Nyes Road (off of Jonestown Road)	Pavilion, soccer fields, hockey rink, nature trail, Possibility Place playground, softball/baseball fields
Kohl Memorial Park	17	Community	Dowhower Road (off of Union Deposit Road)	Pavilion, nature trail, softball fields, all purpose field, racquetball, basketball & tennis courts
Koons Park	33	Community	Larue Street (off N. Mountain Road)	Pavilions, playground, softball/baseball, all purpose field, volleyball, basketball, tennis, bocce/horseshoe pits, shuffleboard, swimming
Lingle Park	20	Community	Pleasant Drive (off of Union Deposit Road)	Pavilion, nature trail, softball fields, all purpose field, sand volleyball courts
Centennial Acres Park	4	Neighborhood	Continental Drive (off of Colonial Road)	Pavilion, playground, all purpose field, basketball court, tennis courts
Forest Hills Park	5	Neighborhood	Forest Hills Drive and Wimbledon Drive	Picnic tables, all purpose field, basketball court, tennis court
Hocker Park	2	Neighborhood	Off of Blue Mountain Parkway	Picnic area, unpaved trails, nature study, vistas
Kings Crossing Park	5	Neighborhood	Nyes Road and Union Deposit Road	Playground, baseball fields, softball fields, soccer fields, sand volleyball courts
Lamplight Park	5	Neighborhood	Mayfair Drive (off of Nyes Road)	Pavilion, all purpose field, basketball court
Hodges Heights	2	Neighborhood	Conway Road (off of Lysters Lane)	Playground, tennis court, basketball court, all purpose field
Wolfersberger Park	91.5	Community	Wenrich Avenue (off of Blue Ridge Ave)	Unpaved trails, open space, paintball course
Hurley Fields	5	Neighborhood	Porche Drive (off of Locust Lane)	Baseball/softball fields
Meadowbrook	2	Neighborhood	Oak Avenue (off of Meadowbrook Drive)	Playground, basketball court, all purpose field
Paxtonia Fields	10	Leased	Nyes Road (off of Jonestown Road)	Baseball/softball fields
Friendship Center				

**Fig 2.3: Township Recreation Facilities**

**KINGS CROSSING PARK**

This 5-acre park is located in the Kings Crossing residential development near the intersection of Union Deposit and Nyes Roads. The park includes (1) pavilion, a playground, (1) soccer field, and (1) baseball/softball field.

**LAMPLIGHT PARK**

This 5-acre park includes (1) pavilion, a playground, (1) basketball court and (1) all purpose field.

**FRIENDSHIP CENTER**

The 62,000 square-foot facility Friendship Center includes a natatorium, weight / fitness area, gymnasium, aerobics studio, locker rooms, walking track, babysitting room, classrooms and offices. In addition, the facility has a new East Annex housing the Friendship Senior Center. The center provides inter-generational programs and activities for preschool, youth, adults, families, and seniors.

**Relevant Planning Documents**

The improvements proposed for Koons Park and Wolfersberger Park are consistent with regional, county, and local plans. Proposed park improvements relate directly to local planning initiatives that, in summary, recommend trail connections to provide regional and local connections to a network of parks and open space and additional park facilities to serve the needs of the community. Related planning initiatives include:

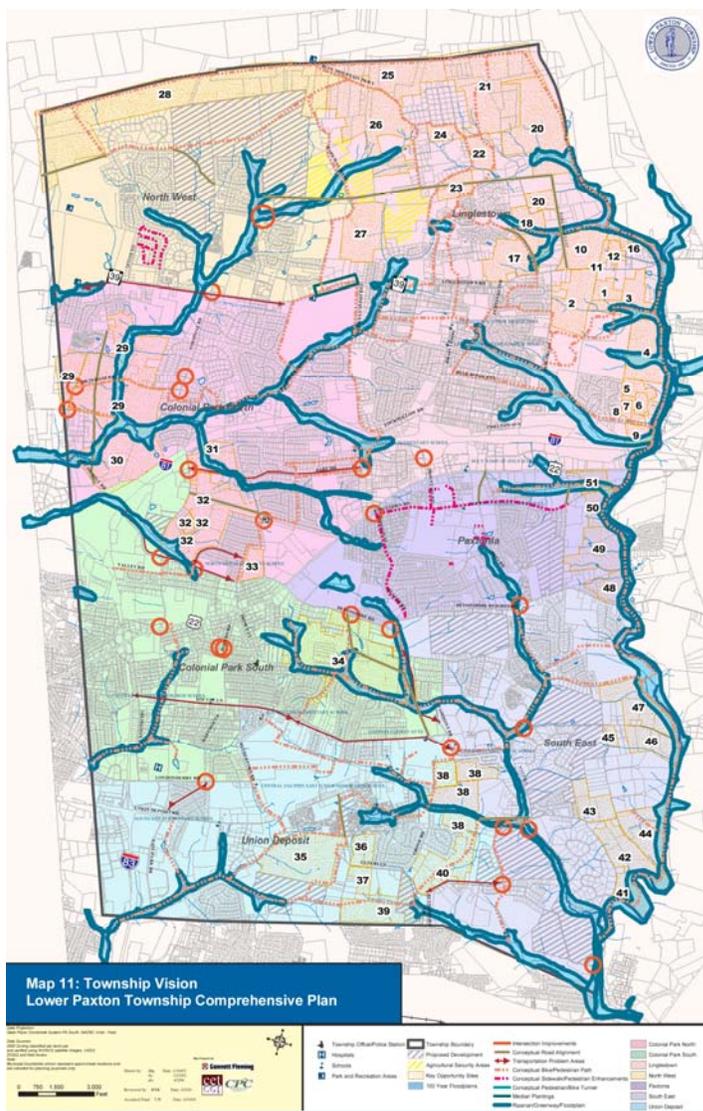
**2012—LOWER PAXTON TOWNSHIP RECREATION AND PARK PLAN**

Lower Paxton Township Parks and Recreation Department is responsible for the development, operation, and use of 376 acres of parkland (active and passive), the Friendship Center, and a wide variety of recreation programs and special events offered year-round. This plan provides guidelines and direction for recreation programming and park facility development for the next 10 years (2012–2022). Several objectives of the plan include:

- Analyzing current park facilities and recreation programming opportunities to determine whether they meet the needs and demands of all residents;

- Identifying appropriate locations for new park facilities;
- Incorporating recommendations from the LPT Comprehensive Plan and Greenway Plan; and
- Integrating natural, cultural, and historical resources within the plan.

One Lower Paxton Township goal is to provide 10 acres of active parkland per 1,000 residents. To achieve this goal, the plan mentions several methods that include municipal acquisition and development of active parkland, donation and right-of-way dedication for active parkland, developer dedication of land for parks and recreation, and developer dedication of useable facilities.



**Figure 2.4 Township Vision Plan, Lower Paxton Comprehensive Plan (prepared by Gannett Fleming, Inc.)**

**2004—LOWER PAXTON TOWNSHIP COMPREHENSIVE PLAN FOR COMMUNITY RESOURCES**

The Comprehensive Plan provides a guide for the development of Lower Paxton Township over the next 10 to 20 years, with a vision and a general direction for municipal policy and community improvements. The plan provides a framework for decision-making in the areas of land use, transportation, housing, municipal services, utilities, and natural resources. Several of the plan goals and objectives include:

*Community Facilities and Services:*

- Enhance existing recreational areas and develop new recreational areas.
- Encourage public/private partnerships for the provision of community services.
- Establish a preferred method of public input for proposed development.

*Natural and Cultural Resources:*

- Protect natural resources from direct and indirect impacts of development.
- Interconnect the Township community with greenway connections.
- Support and encourage the exploration and promotion of local heritage and cultural resources.

*Land Use:*

- Strategically manage development growth using management tools and a clear understanding of desirable local growth.
- Conserve land resources and discourage commercial sprawl.
- Promote and enhance community character.

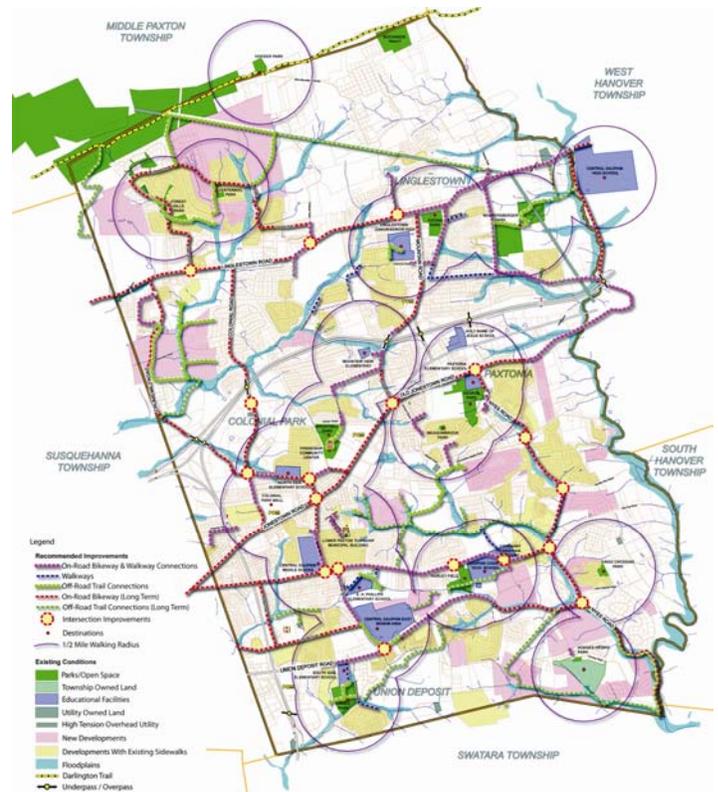
**2007—LOWER PAXTON TOWNSHIP GREENWAY PLAN**

This report was financed in part by a grant from the Community Conservation Partnerships Program, Keystone Recreation, Park and Conservation Fund, under administration of the Pennsylvania Department of Conservation and Natural Resources (DCNR), Bureau of Recreation and Conservation. The purposes of the plan was to:

- Conduct a study of the community and identify and delineate existing natural areas, “green corridors” and other greenway enhancement opportunities;
- Develop a set of planning policies for how natural areas, roadways, and easements may be utilized, and appropriately integrate these policies within the Comprehensive Plan and Recreational Planning Program;
- Articulate acquisition policies for obtaining greenway areas for a wide variety of public benefits; and,
- Examine municipal ordinance provisions to ensure compatibility with Dauphin County planning and ensure that greenway areas are appropriately protected as important natural features for the benefit of the public.

Products of the plan include:

- Inventory of man-made or “Gray Infrastructure”;
- Inventory natural resources or “Green Infrastructure”;



**Fig 2.5 Lower Paxton Township Greenway Plan (prepared by Simone Collins Landscape Architecture.)**

- Identify township destinations, existing trails, and potential connections to regional facilities located in adjacent municipalities;
- Identify potential greenway/trail types;
- Identify preferred trail route(s) and trail support facilities such as township destinations, and other facilities; and
- Identify project partners for greenway implementation.

**2006—LOWER PAXTON TOWNSHIP ZONING ORDINANCE**

Both Koons Park and Wolfersberger Park are located within the IN-Institutional District. This district is intended primarily for institutional, public, and semi-public uses. Examples of permitted uses within the IN-Institutional District include cemeteries, places of worship, colleges or universities, community recreation centers, day care facilities, nursing homes, schools, government facilities, and publicly owned or operated recreation parks. The two parks are bordered by the AR-Agricultural Residential, R-1-Residential Low Density, R-2-Residential Medium Density, and V-Village districts.

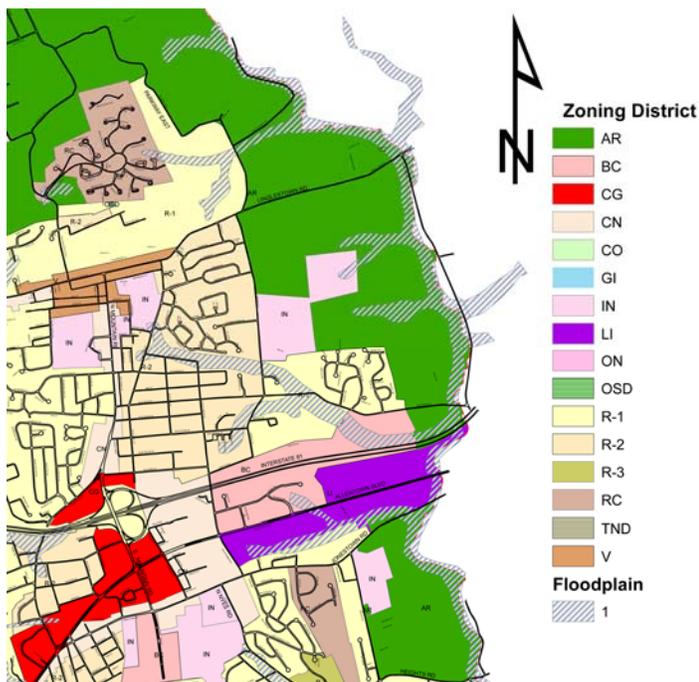
Other relevant ordinance requirements include:

- Section 308.C. Wetland Setbacks. A minimum setback of 20 feet shall be required between any new principal building and any “wetland”.
- Section 312.A Conservation Along Creeks. No new building larger than 150 SF, new or expanded vehicle parking, or business outdoor storage shall be located within 50 feet from the top of the bank of a perennial creek. This minimum setback shall be increased to 75 feet from the top of the bank of a perennial creek within the AR and CO zoning districts.
- Section 504A. Floodplain District. The floodplain district includes areas that have been identified by the Federal Government as being subject to periodic inundation by floodwaters. The floodplain district is intended to manage development and alteration of floodplain areas to avoid incompatible or dangerous development.

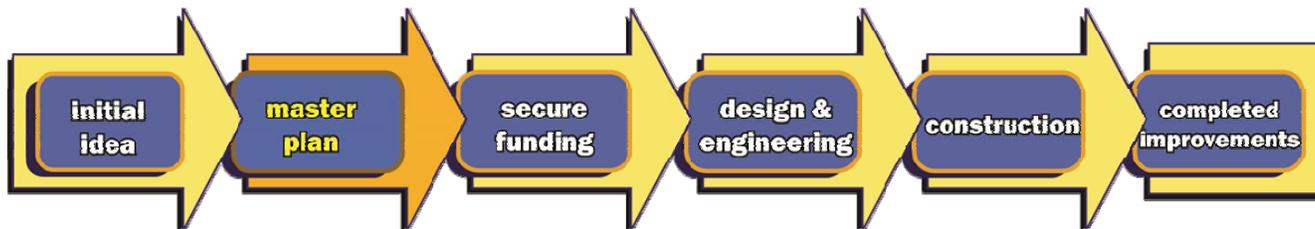
**2010—LOWER PAXTON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE**

Section 180-522. Dedication of Recreation Land & Fee Requirements. All residential subdivision and/or land development applications submitted to the Township shall provide for suitable and adequate recreation space. For all residential subdivision and land development plans, the amount of land required to be dedicated to the Township for public recreational purposes shall be as follows:

Minimum area of one thousand eight hundred and forty-one (1,841) square feet per dwelling unit shall be provided as contiguous, usable area.



**Fig 2.6** Portion of Lower Paxton Township Zoning Map, approved 2006.



## The Master Planning Process

### PURPOSE OF A MASTER PLAN

The graphic (above) shows Master Planning as an early stage in the process of constructing new park improvements.

This 2013 Master Plan Study developed a general consensus for improvements and facilities that should be upgraded, and establishes an estimate of probable costs that are the basis for developing an implementation and funding strategy.

The Master Plan identifies possible design and engineering phases where detailed design decisions are later documented through the completion of construction drawings. Prior to commencing the design and engineering phase, it will be necessary to complete a topographic survey of Koons Park. A survey of Wolfersberger Park has previously been completed. Based upon the surveys, design development drawings and construction documents will be completed and the project can then be bid and constructed in phases over a period of years. Phased improvements at one park will influence the other.

### MASTER PLAN TEAM

In July of 2012, Lower Paxton Township selected Simone Collins Landscape Architecture (SC) to lead the master planning for two parks. The SC project team includes:

- **Grove Miller Engineering, Inc.** to identify roadway improvements for Wolfersberger Park site access;
- **GTS Technologies, Inc.** to assess civil engineering/permitting needs;
- **PA Forestry & Wildlife Consultants, LLC** to develop a forestry plan for Wolfersberger Park; and,
- **Wallover Architects Inc.** to assess Koons Memorial Pool.

## Public Participation Process

Community input is the basis for all public master planning, to hear citizens' observations, needs and visions for a park. During the meetings the public provided feedback on design concepts. The public participation process for Koons Park and Wolfersberger Park was included four public meetings, and two focus group meetings; an online public survey; key person interview; and a month-long draft review period.

### Master Plan Committee / Public Meetings

The project steering committee was comprised of interested stakeholders, township representatives, and representatives from local sports clubs. Steering Committee and public meetings were held jointly to allow for open dialogue between the Steering Committee and the public. Names of committee members are listed on the report title page.

Six committee and four public meetings were held during the course of the Master Plan process. At the first committee and public meetings, base mapping data, site photographs and site analysis plans were presented for both parks. Following the presentation participants were asked for their ideas on goals, facts, concepts, and potential partners for each park. These meetings were followed by a second committee meeting to review site analysis and initial concepts. Two focus group meetings were held to ensure that the design team had the deepest possible understanding of the Township program needs. The third committee meeting and second public meeting provided citizens with three alternative concept plans developed from the ideas produced at the first meeting. A fourth committee meeting reviewed the Koons Pool Assessment Report (see appendix), gathered public feedback and displayed refined park concepts. At the fifth committee meeting

and third public meeting a draft master plan was presented for public review and comment. The draft plan review period allowed public to comment on the pre-final plan.

Three Board of Supervisors (BOS) meetings were also attended during the master plan process to advise the board on the project progress.

## Public Internet Survey

A public internet survey of the Lower Paxton community was conducted and results can be found in this report appendix

## Meeting Schedule

COMMITTEE 1	Sep. 20, 2012 PROGRAMMING
PUBLIC 1	Oct. 24, 2012 PROGRAMMING
FOCUS GROUP 1	Nov. 20, 2012 PROGRAMMING
COMMITTEE 2	Dec. 13, 2012 INITIAL CONCEPTS
FOCUS GROUP 2	Dec. 13, 2012 PROGRAMMING
BOS 1	Jan. 15, 2013 PROJECT STATUS
COMMITTEE 3	Jan. 24, 2013 CONCEPTS
PUBLIC 2	Jan. 24, 2013 CONCEPTS
COMMITTEE 4	Feb. 28, 2013 REFINED CONCEPTS
COMMITTEE 5	April 04, 2013 DRAFT PLAN
PUBLIC 3	April 04, 2013 DRAFT PLAN
PUBLIC DRAFT PLAN REVIEW PERIOD	
BOS 2	May 14, 2013 DRAFT REVIEW
BOS 3 / COMM 6	Jun 18 2013 DRAFT PLAN
PUBLIC 4	July 16, 2013 DRAFT FINAL PLAN

## Data Collection and Methodology

Base map information was compiled using the best available information. This information included Geographic Information System (GIS) mapping data, tax maps, aerial photography, topographic surveys, and information gathered in previous and ongoing planning efforts. This information was supplemented by information gathered by the consultants from several site visits over the course of the master planning process and through public feedback.

## Land Use

### KOONS PARK:

Koons Park is primarily an active recreation park and is comprised of four parcels totaling 28 acres.

This park contains both recreation and municipal service uses. A majority of the site is dedicated to active recreation uses such as football, baseball, softball,

basketball, volleyball, tennis, and swimming. Municipal uses on the property include road salt storage and regional maintenance facilities.

The park is located at the heart of Linglestown, and bordered by Raspberry Lane to the north, Balthaser Street to the west, Koons Park Road to the south, and Laporte Street to the east. The lands surrounding Koons Park are primarily single family residences. The park is also bordered by several small commercial uses to the north and west, as well as a cemetery to the southwest.

### WOLFERSBERGER PARK:

Wolfersberger Park is an undeveloped 91.5-acre open space property comprised of two parcels. The northern parcel is 36.4-acres and the southern parcel is 55.1-acres. This site is a primarily wooded and old shrub meadow, and includes an overhead power line that runs through the northeastern part of the site. Currently the northern parcel is leased and used as a paintball facility.



Fig 2.7 Koons Park Composite Site Analysis

The majority of uses surrounding the park are agricultural and residential. The southern parcel is bordered by Wenrich Street to the west. Single family and multi-family residential uses are found to the west of the site. An undeveloped agricultural field and wooded lands abut the park to the north. Abutting the south and east edges are agricultural and single family residential uses. It is assumed that a majority of the surrounding open space will be developed as housing similar to previous Township development patterns at some future time.

## Zoning

### KOONS PARK:

Koons Park is zoned IN—Institutional District. This district is intended primarily for institutional, public, and semi-public uses. Koons Park is surrounded by several zoning districts including V—Village District to the north and west, IN—Institutional District to the southwest, and R-2—Residential District to the south and east.

### WOLFERSBERGER PARK:

Wolfersberger Park is also in the IN—Institutional District. The park is surrounded by the AR—Agricultural Residential District to the north and east, R-1—Residential to the south, and R-2—Residential to the west.

## Historic Features

According to the National Register of Historic Places and the National Historic Landmarks Program, there is nothing of national historical significance at either park site. Indications of previous agricultural activity have been found on both sites and verified by the community.

### KOONS PARK:

Koons Park was constructed in the 1960’s on a former lowland grazing site, and is the oldest park in the Lower Paxton Park system. Today, none of the prior site history is visible since recreation facilities have evolved over the entire site to meet citizen demands.



Fig 2.8 Wolfersberger Park Composite Site Analysis

### Wolfersberger Park

Wolfersberger Park was the beloved farmstead of the Wolfersberger Family, and was purchased by the Township for use as a park and named Wolfersberger in honor of the family. The ruins of farmstead buildings and remnants of the agricultural history are visible on the site.

### Site Topography

#### KOONS PARK:

The topography of Koons Park has been shaped over the years to serve the immediate needs of the local sports organizations as they grew. The high point of the park is approximately elevation 516 feet located at the northeastern corner of the site along Raspberry Lane. The site drains to a southeast corner low point at elevation 494 feet, and then drains under Balthaser Street to a unnamed tributary of Beaver Creek.

Most of Koons Park is southern facing slopes that range from 0-3%. These gentle slopes accommodate the athletic fields and facilities. Steeper slopes exist in the southwest corner where the land has been terraced to accommodate

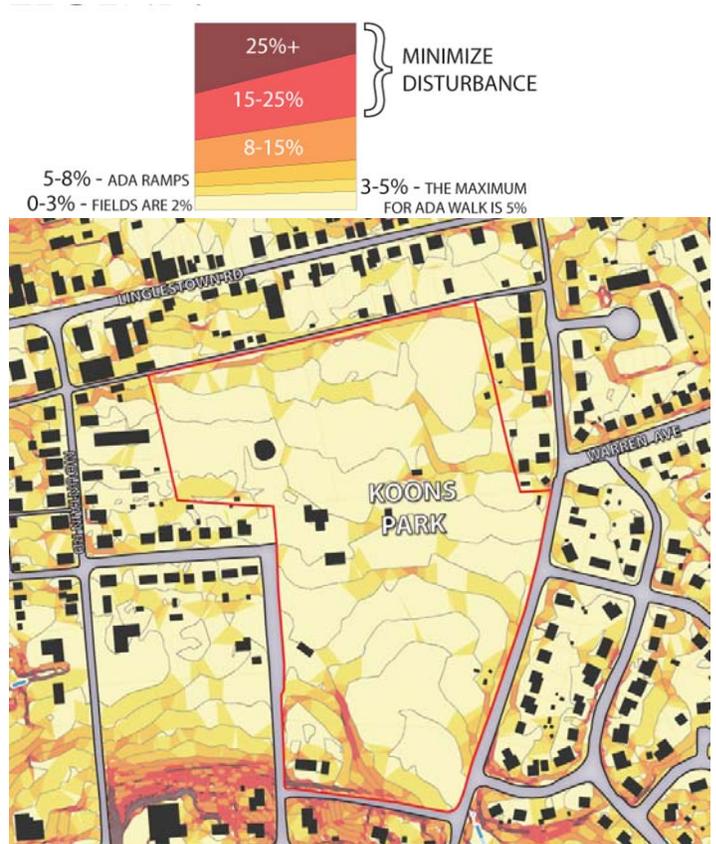


Fig 2.9 Koons Park Slope Analysis Map



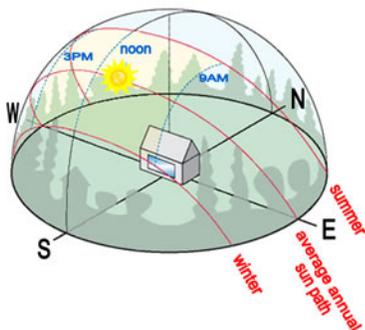
Fig 2.10 Koons Park Elevation Map



Fig 2.11 Koons Park Slope Aspect Map

## Solar Orientation

Slope Aspect Maps ( Fig 2.11 + 2.14) displays the direction that a hillside is facing. This information is important for properly locating buildings and site program elements for optimal sun exposure. For example, a southern building exposure is the key physical orientation feature for passive solar energy in the northern hemisphere.



As displayed in the graphic to the right, the summer sun rises in the northeast and sets in the northwest; at noon it is high in the sky overhead. The winter sun rises in the southeast and sets in the southwest; at noon the sun is low in the southern sky.

site improvements. The gradients surrounding the swim club are in excess of 25%.

### WOLFERSBERGER PARK

This site is presently undeveloped and contains more extreme topography than Koons Park. The highest point of the site is located near Wenrich Street at elevation 534 feet. The lowest point of the site is in the southwest corner at elevation 452 feet.

The slopes determine the streams and wetlands on the site. Many of the more gentle slopes (0-3%) are associated with site wetlands. The majority of the site is dominated by slopes ranging from 3-15% with the gentle slopes being more common in the southern area of the property. Steep slopes of 8-25% exist around stream tributaries on the northeastern portion and southwestern corner of the site. In addition, a fairly steep ridge (15-25%) exists in the western and central portion of the site.

The site slope “aspects,” solar orientations – are dictated by two ridgelines and valleys that run east to west. The northern parcel is dominated by one centrally located

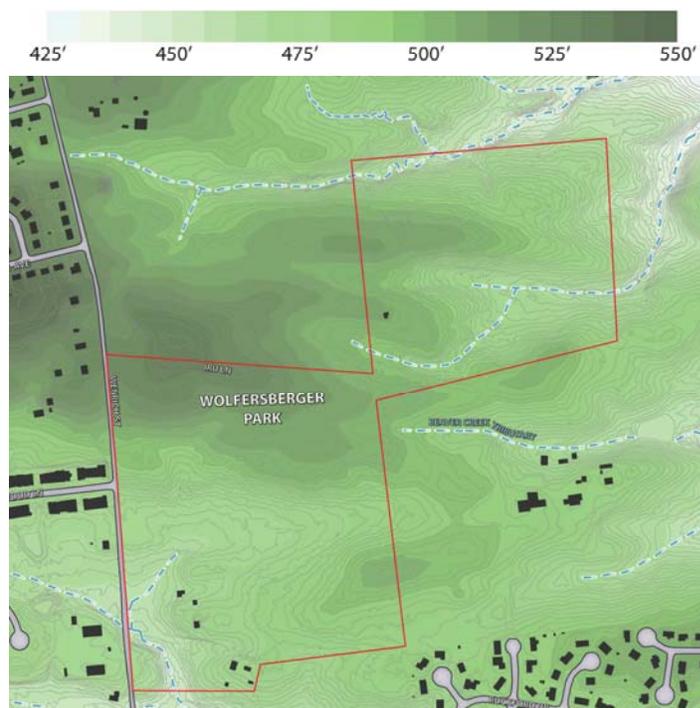


Fig 2.12 Wolfersberger Park Elevation Map

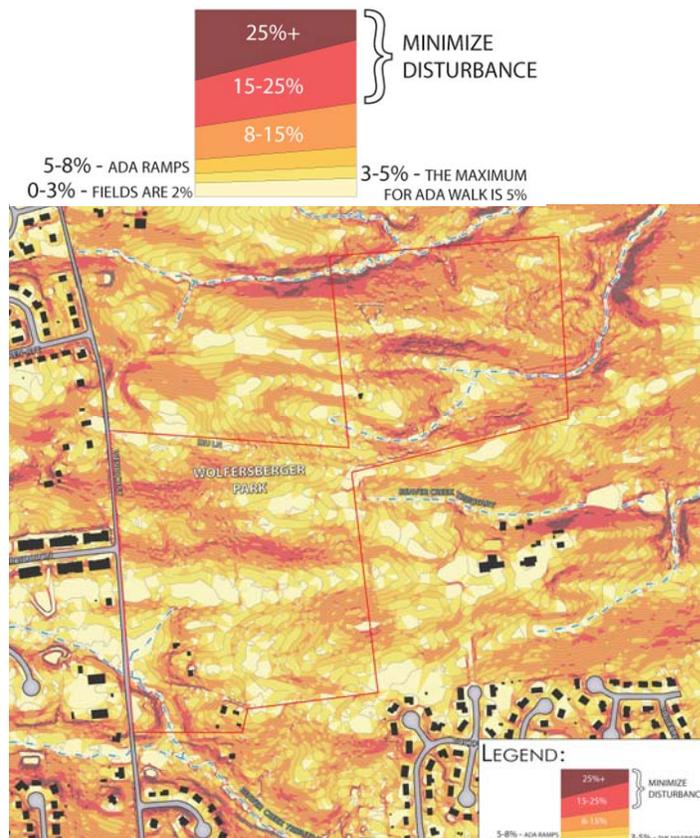
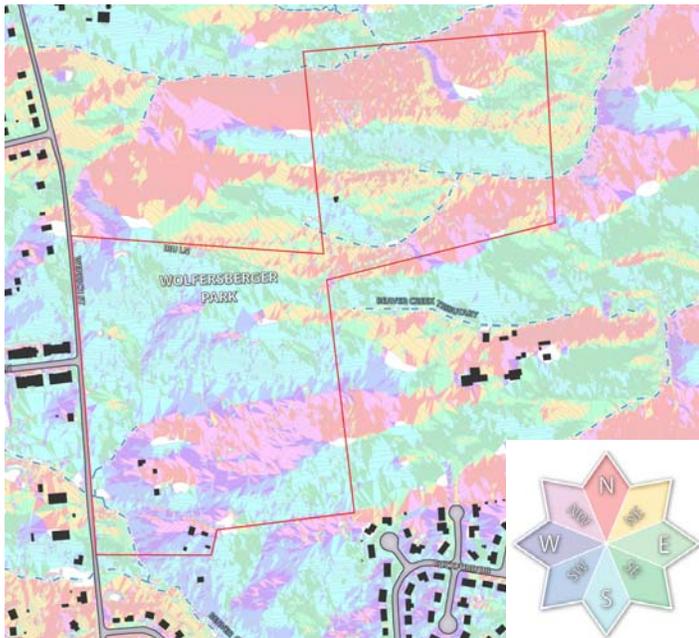


Fig 2.13 Wolfersberger Slope Analysis Map



**Fig 2.14 Wolfersberger Slope Aspect Map**

ridge line, with the second ridge running along the southern most property line. The slopes north of the ridge line tend to face north-northeast and the slopes south of the ridge line tend to face south-southeast into the central valley. The southern parcel is dominated by a central valley where the northern slopes generally face south-southeast and the southern slopes generally facing northwest-west.

### Soil Types

Soils each contain their own distinctive characteristics, such as physical and chemical properties, slope, composition, depth to bedrock, permeability, erodibility, and drainage. These characteristics help determine building suitability, agricultural productivity, and other factors that effect land uses.

Soils surveys were referenced and the soil boundaries and types are shown for Koons and Wolfersberger Parks.

Both parks contain very similar soil types—mostly silt loams with fairly similar characteristics. The silt loams at both sites are defined as being relatively flat (0-8 % slopes) or moderately sloped (8-15% slopes).

The majority of the soil at Koons Park is Brinkerton and Armagh silt loam, (0-3% slopes) which is classified as a hydric, poorly drained soil which can limit trail development. The majority of the soils at Wolfersberger Park is Berks shaly silt loam, (3-8% slopes) which is considered a non-hydric, well drained soil and is usually suitable for trails, parking lots and other associated recreational facilities. These soils however can be limited for uses as athletic and play fields due to a high water table, shallow depth to bedrock, or high gravel content.



### LEGEND

- SITE BOUNDARY
- BkB2 - Berks shaly silt loam, 3 to 8 percent slopes, moderately eroded
- BkC2 - Berks shaly silt loam, 8 to 15 percent slopes, moderately eroded
- BtA - Brinkerton and Armagh silt loams, 0 to 3% slopes
- BtB2 - Brinkerton and Armagh silt loams, 3 to 8% slopes, moderately eroded
- CoB2 - Comly silt loam, 2 to 8% slopes, moderately eroded
- KaC2 - Klinsville shaly silt loam, 8 to 15% slopes, moderately eroded
- WeC2 - Weikert shaly silt loam, 5 to 15% slopes, moderately eroded

**Fig 2.15 Koons Park Soil Map**

The remainder of the soil groups at both sites are rated “Hydric” or “Partially Hydric.” Partially hydric means that some parts of the soil group – but not all - contain hydric soils. Hydric soils are characterized by slow water infiltration rates, a permanent high water table and are often associated with wetlands. The hydric portions of the partially hydric soil groups will most likely be located in floodplains along streams and tributaries. Before construction documentation plans can be prepared, soil

infiltration tests will need to be conducted to determine infiltration rates for stormwater management purposes.

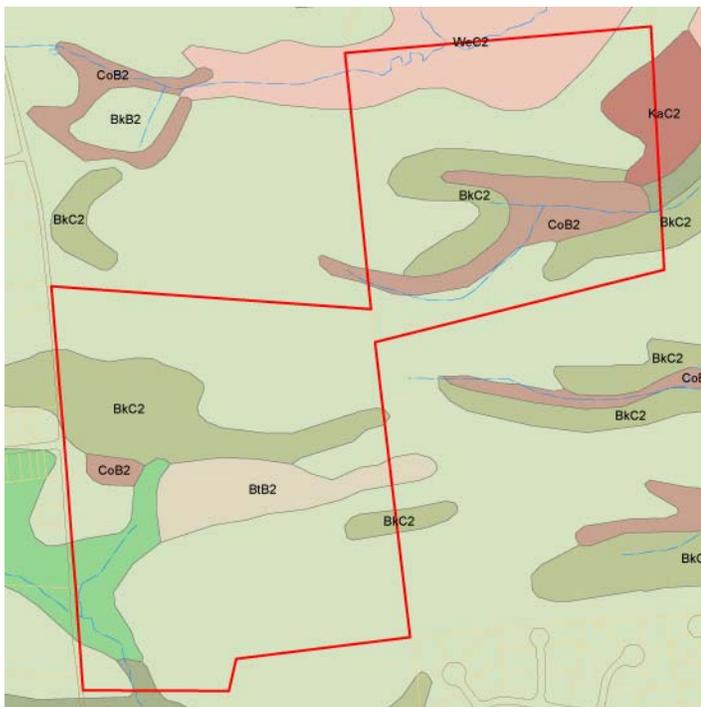
## Hydrology

### KOONS PARK:

The entire site is in a single drainage area, and drains to the lowest point at the southeast corner and beyond to an unnamed tributary of the Beaver Creek sub-watershed. On-site drainage is primarily collected through overland swales and inlets and a system of underground piping that is not documented in location or existing condition. Inlets are found on-site within landscaped and parking areas as well as outside the site boundary at various locations along surrounding roadways. Locations of major drainage flow / swales can be found on the Composite Site Analysis Plan. The entire property is located within the greater Susquehanna River watershed.

### WOLFERSBERGER PARK:

The site is located within four drainage areas each draining to a separate unnamed tributary of the Beaver Creek sub-watershed. The largest drainage area on site drains to the southwest corner of the site to a tributary near Wenrich Street. The smallest drainage area drains into a tributary to the east of the site. Two medium sized drainage areas are located in the northeastern area of the site. Both drain to tributaries to the north and east. The site is primarily undeveloped and no



### LEGEND

- SITE BOUNDARY
- BkB2 - Berks shaly silt loam, 3 to 8 percent slopes, moderately eroded
- BkC2 - Berks shaly silt loam, 8 to 15 percent slopes, moderately eroded
- BtA - Brinkerton and Armagh silt loams, 0 to 3% slopes
- BtB2 - Brinkerton and Armagh silt loams, 3 to 8% slopes, moderately eroded
- CoB2 - Comly silt loam, 2 to 8% slopes, moderately eroded
- KaC2 - Klinesville shaly silt loam, 8 to 15% slopes, moderately eroded
- WeC2 - Weikert shaly silt loam, 5 to 15% slopes, moderately eroded

Fig 2.16 Wolfersberger Park Soil Map



Culvert directing Koons Park drainage into unnamed tributary of Beaver Creek.



**Fig 2.17 Koons Park & Wolfersberger Park Hydrology Map**

inlets or storm piping exist. One piped stream crossing exists on the southern portion of the site along the historic farmstead driveway. The tributary on the northern portion of the site is piped in two locations, the first along an access drive and the second in the overhead electric line right-of-way. The entire property is located within the greater Susquehanna River watershed.

**WETLANDS**

**KOONS PARK:**

No official wetlands are documented on site but a wetland survey should be performed prior to any park development. A small wetland exists nearby as part of a Best Management Practice facility (BMP) that was constructed to handle runoff from the salt dome.

**WOLFERSBERGER PARK:**

Existing wetlands at the park were surveyed and documented at the southwest corner of the site around the low lying areas of an existing unnamed tributary of

Beaver Creek. Additionally, wetlands were found in the central and northeastern areas of the site also in proximity to an unnamed tributary to Beaver Creek.



**Southern wetlands near Weinrich Road in Wolfersberger Park.**

**FLOODPLAINS**

**KOONS PARK:**

A portion of the 100-year floodplain associated with the unnamed tributary of Beaver Creek exists in the southeast corner of Koons Park. It is known that the lower portion of the park surrounding the parking lot also experiences periods of high water table and poor drainage.

**WOLFERSBERGER PARK:**

Mapped floodplains do not exist for the property, however 100 year floodplains have been mapped just to the south of the park. It is known that the southwest corner of the site occasionally floods onto Wenrich Street.

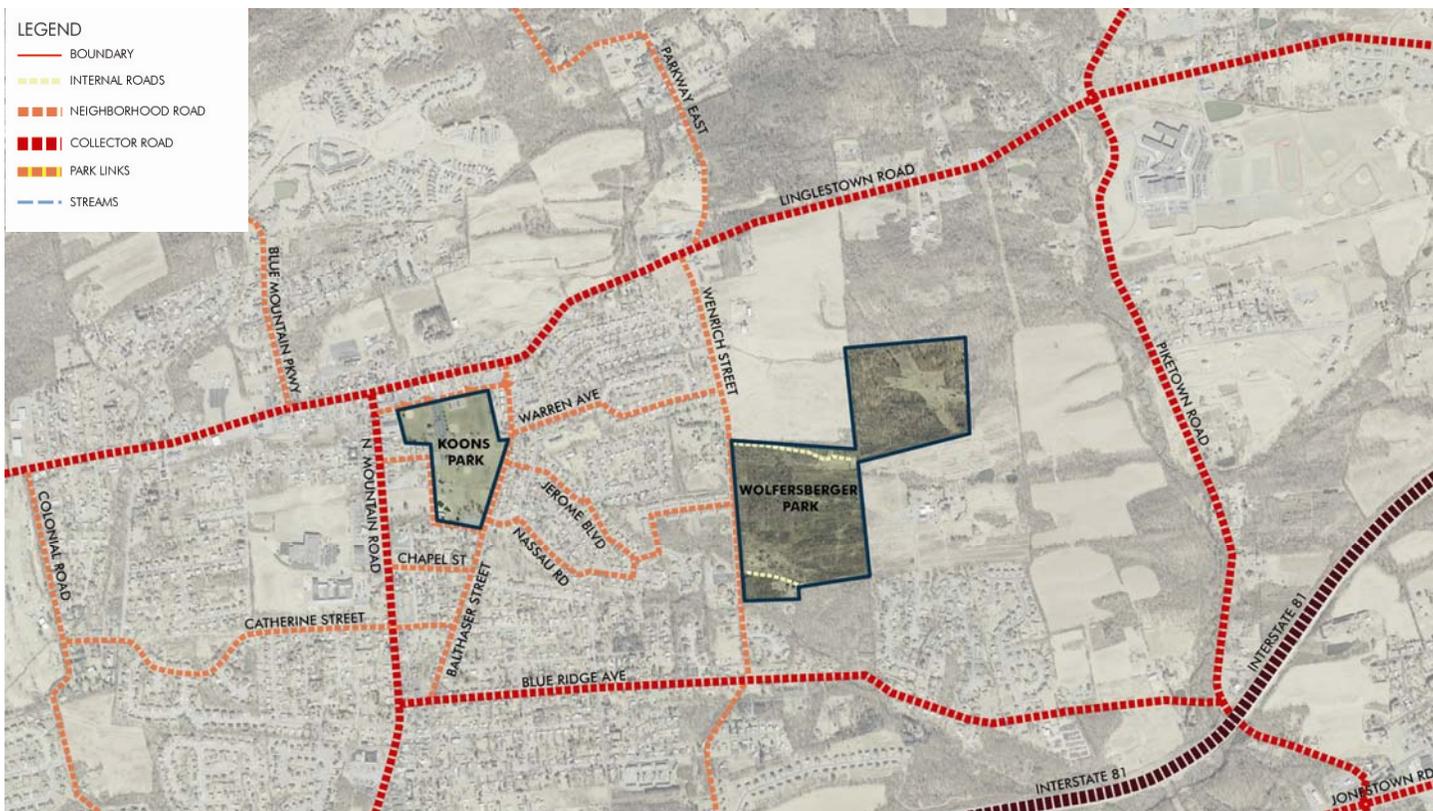
The extent of floodplain areas will need to be confirmed with a floodplain delineation survey for both sites prior to any on-site construction. General locations of

floodplains and wetlands are shown on *Koons Park & Wolfersberger Park Hydrology Map*.

**Regional Vehicular Circulation**

Both the parks are centrally located and are easily accessible from Interstate 81 and SR 22 north and south to the park respectively. SR 322 runs west of the park neighborhood providing regional access to Harrisburg and the PA Turnpike.

The area of Koons Park and Wolfersberger Park is primarily bounded by four major collector roads. To the west is North Mountain Road; running north/south it links Interstate 81 to the south and Linglestown Road to the north. To the north is Linglestown Road; running east/west it connects SR 322 to the west and Interstate 81 to the east. To the east is Piketown Road; running north/south it connects Linglestown Road to the north and Jonestown Road (SR 22) to the south. To the south, Blue Ridge Avenue; running east/west links North



**Fig 2.18 Koons Park & Wolfersberger Park Regional Circulation Map**

Mountain Road to the west and Piketown Road to the east.

Within this area several surrounding minor roadways and neighborhood roads create linkages to the parks. Balthaser Street runs north to south past Koons Park and connects Linglestown Road and Blue Ridge Avenue while Wenrich Street runs north to south past Wolfersberger Park linking the same two roads. Warren Avenue, Jerome Boulevard, and Nassau Road are primarily residential streets that connect Balthaser Street to Wenrich Street. These roads are the primarily vehicular routes between the two parks.

## Site Access

### KOONS PARK:

Koons Park has four existing vehicular access points with parking areas. The largest parking area is located off of Raspberry Lane within the northern portion of the site. Accommodating 166 spaces, the parking area also serves as an access drive and staging area for both the park maintenance building and salt dome. The salt dome dominates the area adding to the sense of separation between two portions of the park.

The second access point, to the west, is an asphalt driveway at the intersection of Laporte and Larue Streets. This access connects to the same parking lot mentioned above.

The third access point also located at the intersection of Laporte and Larue Streets, is a 30-space asphalt parking lot. Lack of separation between Laporte Street, and the parking area, along with undefined pedestrians routes create confusing and unsafe conditions at this entrance point. Additionally, Laporte Street has an extremely large cart width, which correlates with typically higher traffic speeds.

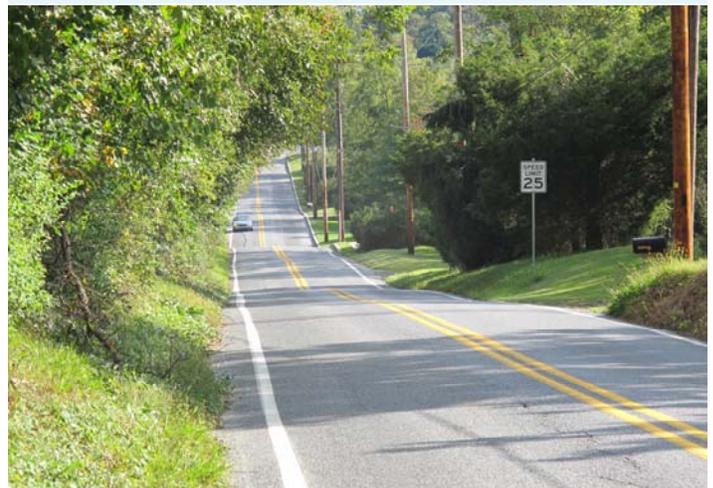
A service drive to the Koons Memorial Pool is located in the southwest corner of the site off Laporte Street. This area also serves as an unofficial bus drop-off for summer pool group programs. The lack of sidewalks and signage at this unofficial drop off poses unsafe conditions.



*Pool group bus unloading along Laporte Street.*



*Parallel parking along Balthaser Street.*



*Wenrich Road looking south from Iru Lane entrance.*



*Typical park pathway in Koons Park.*



*Existing access drive (Iru Lane) into Wolfersberger Park.*



*Woodland pathway in Wolfersberger Park.*

The final vehicular access is an asphalt parking lot at the southeast corner of the site off of Koons Park Road. The parking area holds 45 spaces and is adjacent to the Koons Memorial Pool, two T-ball fields, and a mid-sized baseball field.

There are three areas of street parking along the perimeter of the park. An area of 38 angled spaces exists along Raspberry Lane at the northwest corner of the site. The second area holds 15 angled spaces along Laporte Street adjacent to the Michael Jones Memorial Field. The third area holds 50 parallel spaces along Balthaser Street.

Ten pedestrian-only access points are present on the property. One is located within the 30-space parking area off the Larue Street and Laporte Street intersection. This access is closest to the main pavilion, playground, basketball courts, and volleyball courts. A second access point is located at the 166-space parking area closest to the tennis courts and softball field. The 45-space parking area to the southwest also provides a pedestrian access to the activities at the southern portion of the site. There are two access points along Laporte Street. One is adjacent to the 15-space angled parking area to the west, and the other is adjacent to the Koons Memorial Pool. There are five access points off Balthaser Road to the east. Two are adjacent to the teener baseball field, one is adjacent to the football field, one is adjacent to the pony baseball field, and the last is adjacent to bocce and shuffleboard courts.

There are no existing crosswalks tying the park to the surrounding neighborhoods, nor are there sidewalks along the adjacent roads of Balthaser Street, Laporte Street, Raspberry Lane, or Koons Park Road. These conditions severely limit the ability of surrounding families to safely access the park by walking or biking.

The final access point is a bus stop located opposite the park at Koons Park Road and Balthaser Street. It is served by Capital Area Transit (CAT) Bus Route 12 (Colonial Park - Colonial Commons - Gateway - Linglestown) providing regional public transportation access to Koons Park.

**WOLFERSBERGER PARK:**

Currently there are two vehicular access points to Wolfersberger Park from Wenrich Street. While Wenrich Street is still a major collector road, it maintains a rural feel. The road is defined by vertical curves that severely limit sight lines. It is understood by all parties that Wenrich road requires improvements for safety as traffic counts increase on this road.

The first site access is a barricaded, unpaved internal driveway on the southwest portion of the site located at a low point along Wenrich Street. The driveway provides access to the former farmstead site, but sight lines are limited.

The second is Iru Lane located along the northern property line of the southern parcel, at the crest of a hill along Wenrich Street. This gravel and dirt road is an internal drive off Wenrich Street that provides access to the Linglestown Paintball field on site. Sight lines are poor.

Due to the poor site access and traffic concerns along Wenrich Street, a traffic assessment was conducted as part of this master plan to determine the best possible entrances into Wolfersberger park. (A copy of the traffic engineers findings is in the appendix of this report.)

No sidewalks or crosswalks exist on Wenrich Street and no formal pedestrian access points exist into the site.



*PP&L right-of-way through northern parcel of Wolfersberger Park*

Access to Wolfersberger Park is currently informal via Iru Lane.

## Interior Pedestrian Circulation

**KOONS PARK:**

Paved asphalt pedestrian paths of varying widths exist throughout the park, and primarily link the three parking lots on site to Laporte Street to Balthaser Road. The paths provide pedestrian access to many of the recreational uses within the park, with a majority being less than 5' wide - limiting ADA access and large group uses.

**WOLFERSBERGER PARK:**

Informal pedestrian circulation exists at the end of Iru Lane, where unpaved paths link Iru Lane to the paintball courses in the northeastern portion of the site near the existing overhead electric lines. The paths are composed of primarily dirt and gravel and are not clearly defined.

## Wildlife (PNDI search)

Pennsylvania Natural Diversity Inventory (PNDI) search was conducted for both park sites. PNDI Records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project areas. (A copy of the PNDI receipt can be found in the appendix.)

## Easements

**KOONS PARK:**

There are no known easements within Koons Park. A property title search and legal survey should be performed prior to construction documents to confirm that there are no easements or other encroachments.

**WOLFERSBERGER PARK:**

A topographic site survey was performed for the park and has located a 120' wide PP&L utility easement on

site. The right-of-way exists for the overhead electric lines that run through the northeastern portion of the site.

## Deed Restrictions

### KOONS PARK:

There are no known deed restrictions within Koons Park. A property title search in conjunction with a legal survey should be performed prior to construction documents to confirm that there are any deed restrictions.

### WOLFERSBERGER PARK:

There are no known deed restrictions within Wolfersberger Park.

## Water / Sewer Service

### KOONS PARK:

Koons Park is served by both municipal water and sewer. The park maintenance building and pool bathhouses provide restroom facilities. There is currently no water service on-site capable of filling the swimming pools.

### WOLFERSBERGER PARK:

Wolfersberger Park is currently not served by municipal water or sewer. Water and sewer exist within the Wenrich Street right of way and along Whisper Wood Lane right-of-way. Water and sewer services should be included in future park improvements.

## Activity and Facility Analysis

### COMMUNITY NEEDS

The Master Plan scope of work outlines some of the desired programmatic elements or facilities to be considered for the parks. Many of these programmatic elements were confirmed during Steering Committee and Public Meetings. In the absence of a Township-wide active recreation plan, active recreation needs were solicited from the local sports clubs, committee meetings, and the public. Through the public participation process it was found that active recreation facilities for little league programs such as baseball, soccer, softball, and football were generally in high demand.



*Football practice at Koons Park.*

The little league programs stressed the need for game fields to be located in close proximity to each other to help conserve maintenance and storage resources. There was a strong emphasis on the need for practice fields.

There was a strong voice for non-traditional team sports such as cricket and ultimate frisbee. These user groups are generally adults, who experience difficulty acquiring field space due to the Township policy of accommodating youth activities first.

Lastly, a strong case was made for a need for the parks to serve the general public with amenities targeted towards un-programmed play and passive recreation.

Through the public involvement process, the park programs were refined to find a balance between better serving the active recreational needs in the Township while encouraging greater access to the parks by the local community. The final plans are intended to reflect this community consensus.

## Vegetation

### KOONS PARK:

The mature trees that exist in Koons Park will need to be supplemented with additional tree planting and/or be replaced with new trees as the park is rehabilitated. The designs for the new park acknowledge that many of



*View across southern Parcel of Wolfersberger Park.*

the existing trees will be lost for either reason as the park is reconfigured for improved service.

#### **WOLFERSBERGER PARK:**

The existing tree canopy at Wolfersberger Park was not as significant as originally thought—in terms of age or collection. The canopy on the south side is generally emerging species that have colonized the former farm fields. These transition plants will largely be cleared as the park is developed—except for those existing within the wetland setback areas. The woodlands on the north parcel are more mature, and for the most part will be left undisturbed, except by new trails. The small budget for the original tree assessment was redeployed to additional public outreach tasks.

#### **SITE OPPORTUNITIES AND CONSTRAINTS**

##### **KOONS PARK:**

Opportunities at Koons Park can also create constraints, with a long history of recreational uses, on this former lowland site that is centrally located within dense residential development. It can sometimes be difficult to re-envision a park and justify funding the redevelopment of an existing park, especially when amenities are removed or existing programs are taken off-line for reconstruction. The unique opportunity of redeveloping Koons Park in conjunction with Wolfersberger park is that

desired programs that are removed from Koons Park can be included in the new Wolfersberger Park plan.

The greatest constraints at Koons Park are poor vehicular and pedestrian access and circulation; over-programmed spaces; and poor site drainage. All of these constraints can be remediated through proper programming and design in subsequent phases.

##### **WOLFERSBERGER PARK:**

Wolfersberger Park is constrained by existing streams, wetlands, steep slopes and vehicular access. The park development should avoid sensitive natural areas.

Outside the natural constraints, a significant portion of the site will accommodate a variety of both passive and active recreational facilities. In addition, the natural constraints provide their own opportunities to create dramatic vistas and a variety of habitats; allowing the potential for the site to act as both a recreational facility and a wildlife home/corridor.

Opportunity also exists for Wolfersberger Park development to inform surrounding future private development. The potential exists for the park to grow in size as developers may dedicate recreational land that is contiguous to the park. Though it is too early for these lands to be programmed, this plan does recommend that the Township be proactive in this process by starting the conversation now with surrounding landowners to plan for future access and potential expansion of the park.

##### **ANTICIPATED LEVEL OF USES**

A majority of the uses proposed for both parks are active recreation uses, that tend to draw large numbers of users - often from outside the immediate neighborhood with the potential to create additional traffic, light glare, and noise impacts. These impacts may be minimized by providing multiple designated vehicle access points, ample parking areas, careful siting of athletic fields, judicious use of pedestrian lighting, and sufficient buffering and screening along the park boundaries. Uses that tend to generate above average noise levels such as dog parks, playgrounds

# CHAPTER 3: MASTER SITE PLAN

## Public Consensus

A community consensus was generated during a process of committee and public meetings, including the following concepts:

- **Keep Koons Park youth-oriented;** remove some sports facilities to relieve pressure from the park and create opportunities for unstructured play and community amenities within the park.
- **Keep Koons Park Memorial Pool as long as possible.** It serves a vital community service and future Koons

Park plans should accommodate for redevelopment of this facility.

- **Develop Wolfersberger Park as mixed recreation** with passive recreation for all age groups, and active recreation facilities that are thoughtfully incorporated so as not to dominate the site.
- **Consider future development around Wolfersberger.** Wolfersberger Park is part of a surrounding undeveloped “Super Block.” Planning by the Township should consider responsibilities by developers of the surrounding area and describe expectations including safe pedestrian connections to destinations.

It was also agreed that common amenities for each park should include:

- Jogging / walking trails;
- Sufficient parking areas;
- Picnic pavilions with storage areas dispersed

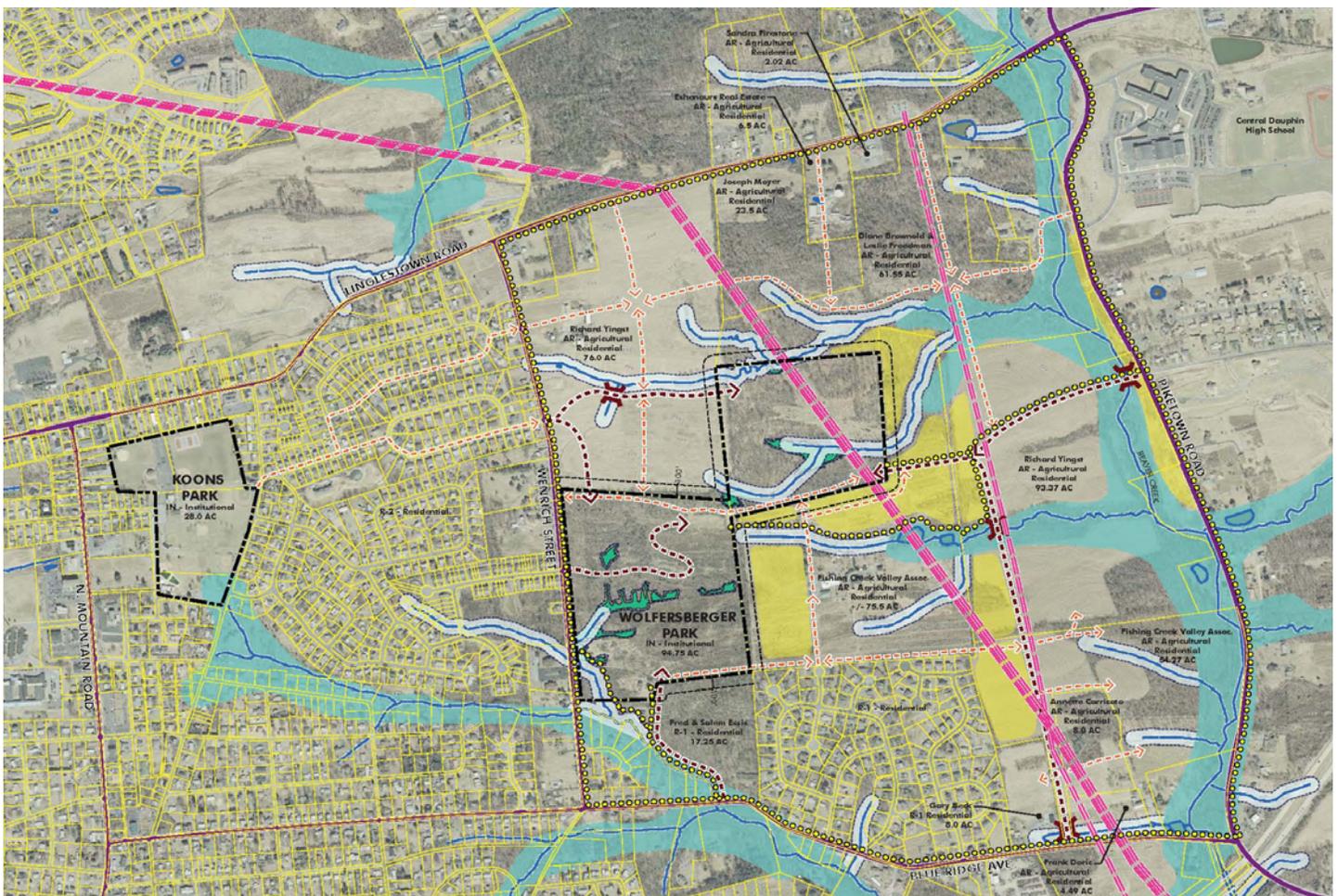


Fig 3.1 Regional Analysis

throughout the sites; and

- A playground located close to restrooms and children's athletic fields.

## Alternative Concept Plans

Three concept plans for each site were developed, presented to the Steering Committee and public, and discussed extensively prior to proposing each draft site plan. Each concept generated public feedback that led to a hybrid concept for each park that was reviewed by the committee and refined for presentation as a draft plan to the public.

### KOONS PARK CONCEPTS

Three (3) concepts were generated for Koons Park.

#### CONCEPT 1 - CLUSTER FIELDS BY TYPE

Concept 1 shows both reuse and improvements to the existing facilities. The plan re-organizes the fields so they are clustered according to type, including a mixture of baseball/little league, football, basketball, volleyball, and tennis facilities. Other conceptual features include: a new central playground; new pavilions; improved pavilion with restrooms in southern portion of the park; and an improved 50 meter pool. The plan also proposes an improved parking area and park entrances. Softball fields were removed in this concept plan. All fields are correctly oriented. Concept 1 is the least costly to construct because it involves the least of amount change to existing circulation.

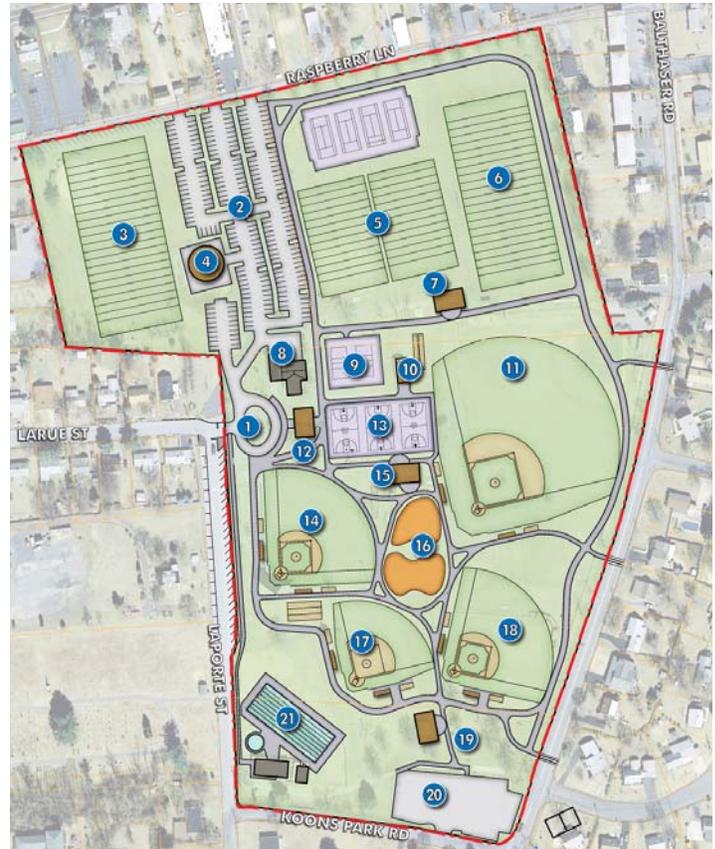
#### CONCEPT 2 – MAXIMIZE BASEBALL FIELDS

Concept 2 relocates parking areas from the middle of the park to the outer perimeter and improves the park entrances. By relocating the parking, the total space count is reduced from the existing condition. The plan also maximizes baseball/softball fields in the park by providing three (3) softball fields and four (4) baseball fields of various sizes. All fields are correctly oriented. Tennis courts have been removed in this concept to allow for the baseball fields. Other park proposed park elements include an improved 50 meter pool, new

playground, a football field, and a football practice field. Two (2) existing pavilions, two (2) existing volleyball courts, and three (3) basketball courts will also remain. This concept would cost more than Concept 1 due to the amount of proposed improvements.

#### CONCEPT 3 – CLUSTER PARKING

Concept 3 proposes the demolition of all existing parking areas and construction of one parking area with improved park entrances along both Raspberry Lane



KEY:

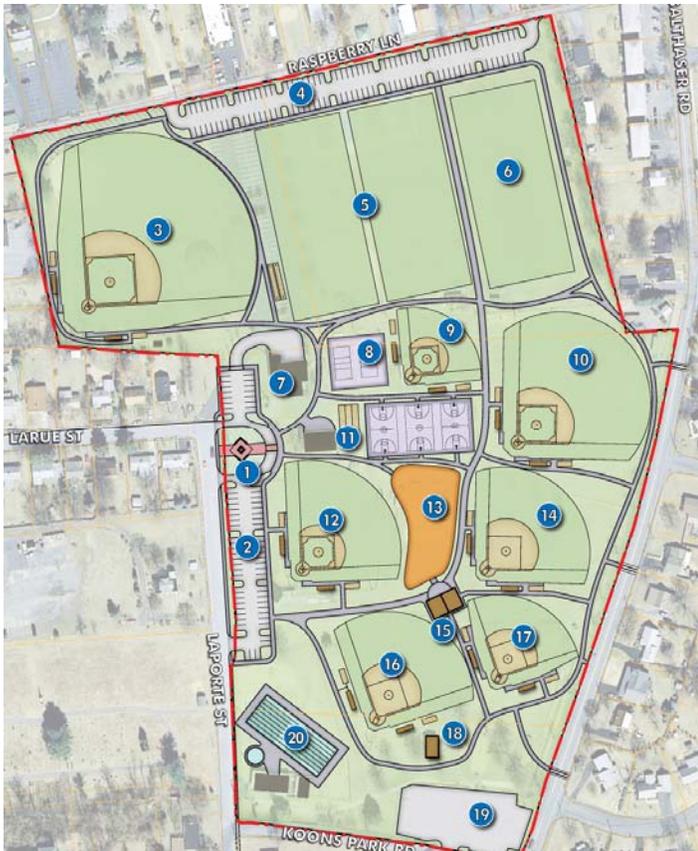
- |                                    |   |
|------------------------------------|---|
| 1 IMPROVED LAPORTE ENTRANCE        | 13 BASKETBALL COURTS (3)                          |
| 2 MAIN PARKING LOT                 | 14 MICHAEL JONES MEMORIAL FIELD (MIDGET BASEBALL) |
| 3 NEW FOOTBALL PRACTICE FIELD      | 15 NEW PAVILION                                   |
| 4 EX. SALT DOME                    | 16 NEW PLAYGROUND                                 |
| 5 NEW FOOTBALL PRACTICE FIELD      | 17 IMPROVED T-BALL FIELD                          |
| 6 FOOTBALL FIELD                   | 18 IMPROVED PONY FIELD                            |
| 7 IMPROVED CONCESSIONS PAVILION    | 19 IMPROVED PAVILION WITH RESTROOMS               |
| 8 MAINTENANCE BUILDING / RESTROOMS | 20 EX KOONS PARKING LOT                           |
| 9 VOLLEY BALL COURTS (2)           | 21 IMPROVED 50 METER POOL                         |
| 10 EX PAVILION                     |   |
| 11 IMPROVED TEENER FIELD           |   |
| 12 NEW PAVILION                    |   |

**Fig 3.2 Koons Park Concept #1—Cluster Fields by Type.**

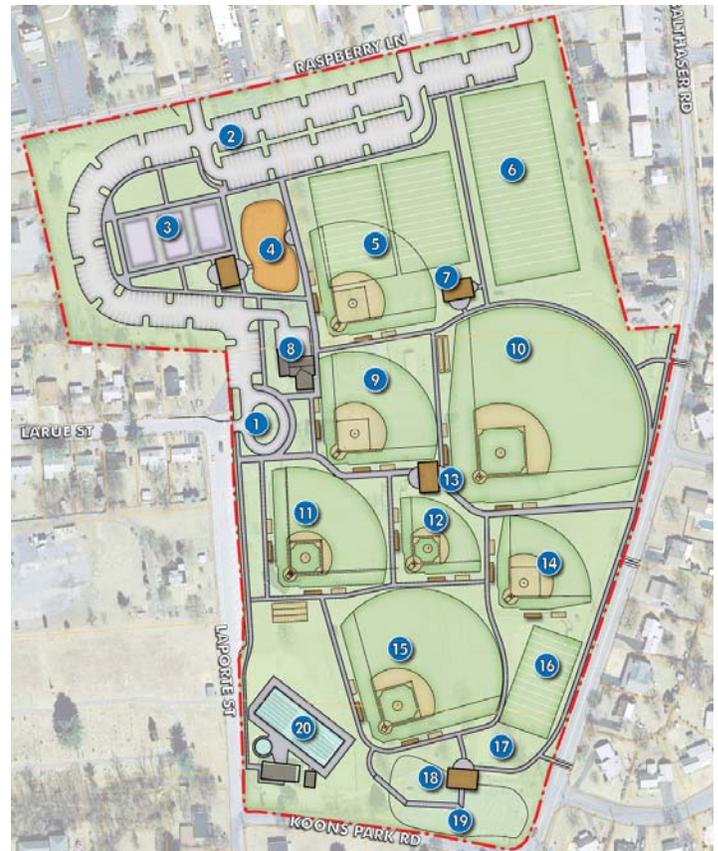
and Larue Street. The plan also keeps all baseball and softball fields in the park with the exception of one unused T-ball field. All fields are correctly oriented. Other park features include: three (3) relocated basketball courts; a relocated pavilion and playground; a football field; an improved concessions pavilion, a new pavilion with restrooms; an improved 50-meter pool; an area for yard sports; and restored wetlands with boardwalk. This concept would be the most costly option of the three due to the extensive improvements.

After reviewing the concepts with the public, it was felt that the park contained too many active recreation elements. It was desired that portion of the park be dedicated to community space. The plan was refined based on public comments to reflect the consensus in the plan. These refinements include:

- Addition of a band performance pavilion and open lawn space;
- Addition of a sidewalk promenade that links the



- KEY:
- |                                    |   |
|------------------------------------|---|
| 1 LAPORTE ENTRANCE PLAZA           | 12 MICHAEL JONES MEMORIAL FIELD (MIDGET BASEBALL) |
| 2 LAPORTE PARKING LOT              | 13 NEW PLAYGROUND                                 |
| 3 RELOCATED TEENER FIELD           | 14 NEW SOFTBALL FIELD                             |
| 4 RASPBERRY LANE PARKING LOT       | 15 NEW CONCESSIONS PAVILION WITH RESTROOMS        |
| 5 FOOTBALL PRACTICE FIELDS         | 16 NEW SOFTBALL FIELD                             |
| 6 FOOTBALL FIELD                   | 17 NEW SOFTBALL FIELD                             |
| 7 MAINTENANCE BUILDING / RESTROOMS | 18 EX. PAVILION                                   |
| 8 VOLLEYBALL COURTS (2)            | 19 EX. KOONS PARKING LOT                          |
| 9 NEW T-BALL FIELD                 | 20 IMPROVED 50 METER POOL                         |
| 10 IMPROVED PONY FIELD             |   |
| 11 EX. PAVILION                    |   |



- KEY:
- |                                    |   |
|------------------------------------|---|
| 1 IMPROVED LAPORTE ENTRANCE        | 11 MICHAEL JONES MEMORIAL FIELD (MIDGET BASEBALL) |
| 2 MAIN PARKING LOT                 | 12 IMPROVED T-BALL FIELD                          |
| 3 RELOCATED BASKETBALL COURTS (3)  | 13 NEW PAVILION                                   |
| 4 RELOCATED PLAYGROUND & PAVILION  | 14 NEW SOFTBALL FIELD                             |
| 5 SOFTBALL / FOOTBALL FIELD        | 15 NEW PONY FIELD                                 |
| 6 FOOTBALL FIELD                   | 16 NEW PRACTICE FIELD                             |
| 7 IMPROVED CONCESSIONS PAVILION    | 17 YARD SPORTS                                    |
| 8 MAINTENANCE BUILDING / RESTROOMS | 18 NEW PAVILION & RESTROOMS                       |
| 9 NEW SOFTBALL FIELD               | 19 RESTORED WETLANDS WITH BOARDWALK               |
| 10 IMPROVED TEENER FIELD           | 20 IMPROVED 50 METER POOL                         |

**Fig 3.3 Koons Park Concept #2—Maximize Baseball Fields**

**Fig 3.4 Koons Park Concept #3—Cluster Parking**

Site Features	Existing	Concept 1	Concept 2	Concept 3	Preferred
<b>Total Parking</b>	<b>331</b>	<b>381</b>	<b>313</b>	<b>393</b>	
Raspberry Lane Main Parking Lot	163	224	112	276	
Laporte Street Parking Lot	30	-	69	-	
Koons Road Parking Lot	45	45	45	-	
<b>On Site</b>	<b>238</b>	<b>269</b>	<b>226</b>	<b>276</b>	
Laporte Street On-Street Parking	15	45	18	45	
Raspberry Lane On-Street Parking	38	27	29	32	
Balthaser Road On-Street Parking	40	40	40	40	
<b>On Street</b>	<b>93</b>	<b>112</b>	<b>87</b>	<b>117</b>	
<b>Total Fields</b>	<b>10-12</b>	<b>7</b>	<b>10</b>	<b>10</b>	
<b>Softball</b>	<b>3</b>	<b>0</b>	<b>3</b>	<b>3</b>	
Field #1 Softball	60'/200'/25'	-	60' base path (M)	60' base path(A)	
Field #2 Softball	60'/200'/25'	-	60' base path (M)	60' base path(M)	
Field #4 Softball / Baseball	60'/200'/25'	-	55' base path(M)	55' base path(M)	
<b>Baseball</b>	<b>4</b>	<b>4</b>	<b>4</b>	<b>4</b>	
Field #3 Baseball-Teener	90'/+20'/350'	90' base path (S)	90' base path (M)	90' base path (S)	
Field #5 Baseball-Midget	60'/30'/180'	60 base path	60' base path (A)	60' base path	
Field #6 Baseball-Tball	50' base path	50' base path(A)	50' base path (M)	50' base path(M)	
Field #7 Baseball-Pony	60'/20'/180'	60' base path (S)	70'/30'/275' (M)	70'/30'/275' (M)	
<b>Football</b>	<b>179,100 SF</b>	<b>169,800 SF</b>	<b>172,800</b>	<b>130,800 SF</b>	
Field #1 Football (over softball)	49,500 SF	54,600 SF	57,600 SF (2)	54,600 SF	
Field #2 Football (northwest field)	18,000 SF (2)	57,600 SF	-	-	
Field #4 Football (by Pony Field)	18,000 SF	-	-	18,600 (M)	
Field #6 Football (over t-ball)	18,000 SF	-	-	-	
Football Field	57,600 SF	57,600 SF	57,600 SF	57,600 SF	
<b>Courts / Amenities</b>	<b>15</b>	<b>15</b>	<b>11</b>	<b>9</b>	
Playground	5,240 SF	21,554 SF (M)	20,523 SF (M)	13,600 SF (M)	
Basketball Court	3	3 (A)	3	3 (M)	
Volleyball Court	2	2	2	-	
Tennis Court	4	4	-	-	
Shuffle Board Court	1	1	1	1	
Bocce Court	2	2	2	2	
Horse Shoe Pits	2	2	2	2	
<b>Buildings / Pavilions</b>	<b>6</b>	<b>6</b>	<b>4</b>	<b>4</b>	
Maintenance Building / Restrooms	3,598 SF	3,598 SF	3,598 SF	3,598 SF	
Pavilion - Playground	2,150 SF	2,100 (SF) (M)	2,150 SF	2,070 SF (M)	
Pavilion - Basketball Courts	1,005 SF	1,005 SF	-	-	
Pavilion - Concession Stand	487 SF	2070 (A)	2,150 SF (M)(R)	2,070 SF (A)	
Pavilion - Yard Sport	872 SF	2,120 (A)(R)	872 SF	2,070 SF (M)(R)	
Salt Dome	3,600 SF	3,600 SF	-	-	
<b>New Amenities</b>	<b>-</b>	<b>2</b>	<b>2</b>	<b>3</b>	
Boardwalk	-	-	-	2,120 SF	
Wetland	-	-	-	27,170 SF	
Laporte Entry Plaza	-	-	2,070 SF	-	
Laporte Drop-off Loop	-	1	1	1	
Pavilion - Playground	-	2070	-	-	

A - Minor Field Adjustment                      S - Reoriented for Safety  
M - Feature Relocation in Park                      R - Restrooms

**Fig 3.5 Koons Park Concept Comparison Matrix.**



3.6 Koons Park Draft Master Plan (See appendix for enlarged plans)

parking area along Balthaser Street to the parking area along Laporte Street

- A park perimeter parking scheme;
- A zero-depth fountain within the promenade;
- Removal of two (2) softball fields to be relocated to Wolfersberger Park;
- Removal of four (4) tennis courts to be relocated to Wolfersberger Park;
- A new playground and tot-lot;
- Five (5) delineated areas for stormwater management;
- The potential for a new swimming club facility including restrooms accessible to park users—to be developed by Township partners.

### **KOONS PARK PREFERRED PLAN**

The Preferred Plan describes a redevelopment strategy for the majority of Koons Park to provide an optimal combination of active and passive recreation opportunities. The plan provides: (3) new baseball fields; resurfaced basketball and volleyball courts; a football field and practice field; (2) sand volleyball courts; a new concession building; and a new park pavilion. Several existing park elements are shown to remain such as: the park maintenance/restroom building; the Michael Jones Memorial Baseball Field; (2) park pavilions; and the bocce court area. The Draft Plan features (4) main parking areas for the park. One lot is located off Laporte Street, The second lot is located off Raspberry Lane. A third lot is located off Balthaser Street and the fourth lot is accessed from Koons Park Road. The plan also includes 76 angled parking spaces located off Raspberry Lane. New speed tables and crosswalks are also suggested along Laporte Street and Balthaser Road.

### **WOLFERSBERGER PARK CONCEPTS**

Based on public feedback, three concepts were also generated for Wolfersberger Park as follows:

#### **CONCEPT 1**

Concept 1 provides a mix of active and passive recreational uses on both the northern and southern halves of the park. On the south side are (2) softball/multipurpose fields; a tot lot; a playground; (4) tennis

courts; a restroom building; (2) parking areas of 66 spaces and 166 spaces; and a dog park for both small and large dogs. A pedestrian loop trail system is designed throughout the park with boardwalk observation decks in the wetland areas.

#### **CONCEPT 2**

Concept 2 emphasizes a more natural park design that minimizes disturbance to the existing conditions of the site. This concept does not include any active recreational uses. The plan provides a large parking area of 202 spaces to the north and identifies an area for an indoor 50 meter pool facility. The southern portion of the site includes a smaller parking area of 94 spaces along with a community center/rental facility. A boardwalk and observation deck are provided through the wetland linking the northern and southern portions of the site. This concept requires the least amount of earthwork and disturbance to existing vegetation.

#### **CONCEPT 3**

Concept 3 develops the park primarily as a relatively small soccer facility. Three small soccer fields and three medium soccer fields are shown to the north of the existing wetlands. Two parking areas of 60 spaces each (120 total) are provided adjacent to the fields. To the south of the existing wetlands, (3) small soccer fields and (3) medium soccer fields have been provided. A parking area of 250 spaces has been provided adjacent to these fields. Concept 3 proposes the greatest amount of earthwork and disturbance to existing vegetation.

After review with the public and committee the concepts were refined and detailed to reflect consensus as shown in the Preferred plan. These refinements include:

- Moving the proposed playground and tot lot to the southern side of the wetland area
- A community garden on the southern side of the wetland area (The Supervisors question the need for this use at the present)
- Addition of the salt storage facility relocated from Koons Park
- The inclusion of a tree restoration area

- Addition of (2) parking areas on the northern park site
- Inclusion of a loop trail around the northern park site
- Addition of park restrooms, (2) pavilions, and a picnic grove to the northern park site

**WOLFERSBERGER PARK PREFERRED PLAN:**

The Preferred Plan emphasizes a mixture of passive and active recreational uses on both the northern and southern park sites. The existing paintball uses are considered to remain, in the near term, on the northern half. Two parking areas, loop trail, park restrooms, pavilions, picnic grove, a footbridge and boardwalk



- |                                       |   |
|---------------------------------------|---|
| 1 PHASE 1 ENTRY DRIVE                 | 12 MULTI-PURPOSE FIELD                      |
| 2 PHASE 2 ENTRY DRIVE                 | 13 DOG PARK - LARGE DOGS                    |
| 3 PHASE 2 ENTRY DRIVE                 | 14 DOG PARK - SMALL DOGS                    |
| 4 SOFTBALL FIELD                      | 15 LOOP TRAIL                               |
| 5 TOT LOT                             | 16 EXISTING WETLANDS                        |
| 6 PLAYGROUND                          | 17 BOARDWALK OBSERVATION DECK               |
| 7 TENNIS COURTS (4)                   | 18 PEDESTRIAN/EMERGENCY ACCESS TO PAINTBALL |
| 8 PARKING AREA - PHASE 1 (66 SPACES)  | 19 VEGETATED BUFFER                         |
| 9 PARKING AREA - PHASE 2 (166 SPACES) | 20 PEDESTRIAN ACCESS                        |
| 10 RESTROOMS                          | 21 PEDESTRIAN ACCESS                        |
| 11 SOFTBALL FIELD                     |   |

**Fig 3.7 Wolfersberger Park Concept #1**



- |  |                                  |
|--|----------------------------------|
| 1 MAIN VEHICULAR ENTRY DRIVE               | 14 BOARDWALK OBSERVATION DECK    |
| 2 MAIN PARKING AREA (202 SPACES)           | 15 TRAIL (TYP)                   |
| 3 DROP-OFF LOOP                            | 16 VEGETATED BUFFER              |
| 4 INDOOR 50 METER POOL FACILITY            | 17 PEDESTRIAN & VEHICULAR ACCESS |
| 5 EMERGENCY ACCESS GATES                   | 18 PEDESTRIAN ACCESS             |
| 6 PEDESTRIAN/EMERGENCY ACCESS TO PAINTBALL |                                  |
| 7 EMERGENCY ACCESS                         |                                  |
| 8 PARKING AREA (94 SPACES)                 |                                  |
| 9 DROP-OFF LOOP                            |                                  |
| 10 COMMUNITY CENTER/RENTAL FACILITY        |                                  |
| 11 LAWN AREA                               |                                  |
| 12 MEADOW PLANTINGS                        |                                  |
| 13 EXISTING WETLANDS                       |                                  |

**Fig 3.8 Wolfersberger Park Concept #2**

lookout are all proposed for the northern site. Two vehicular access points to this area are proposed. The first being access from the parcel directly to the west and the second being access from the southern park site. One will require an easement.

The southern park site includes (4) tennis courts and (3) multipurpose fields that can serve (2 - 3) softball fields (to be relocated from Koons Park.) A dog park for both small and large dogs is shown to the western side of the site opposite Whisper Woods Lane. Two vehicular access points are shown, both from Wenrich Street. The first access is shown across from the Wenrich Street and Warren Avenue intersection (through a private parcel to the north, that will require a private easement.) The second is accessed directly from Wenrich Street near the southwestern corner of site. Three parking areas of 78 spaces, 79 spaces, and 48 spaces are provided as well as an entry plaza and new restroom pavilion. A tot lot and playground are also shown to the south of the existing wetlands. The plan preserves the existing wetlands in the center of the site with an expanded buffer and proposes a tree restoration area. The loop trail provides pedestrian linkage from the northern side of the park to the southern side of the park and also provides access to the boardwalk lookout at the wetlands.



- KEY:
- 1 PHASE 1 ENTRY DRIVE
  - 2 PHASE 2 ENTRY DRIVE
  - 3 PHASE 2 ENTRY DRIVE
  - 4 PARKING AREA (60 SPACES)
  - 5 SOCCER FIELD (3 SMALL)
  - 6 PARKING AREA (60 SPACES)
  - 7 SOCCER FIELD (3 MED)
  - 8 SOCCER FIELD (3 MED)
  - 9 PARKING AREA (250 SPACES)
  - 10 SOCCER FIELD (3 SMALL)
  - 11 PEDESTRIAN/EMERGENCY ACCESS TO PAINTBALL

**Fig 3.9 Wolfersberger Park Concept #3**



Fig 3.10 Wolfersberger Park Preferred Plan South (See appendix for enlarged plans)

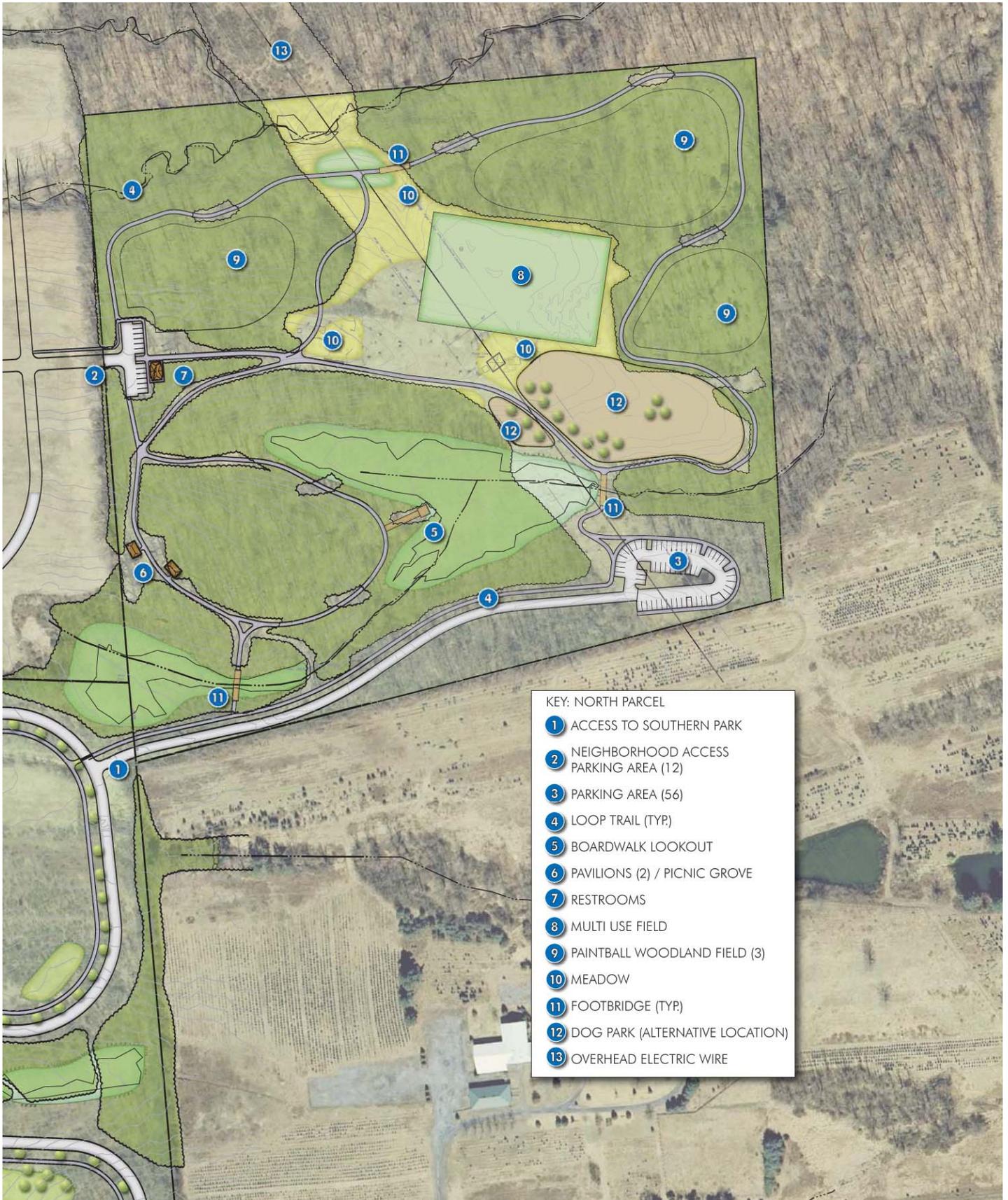


Fig 3.11 Wolfersberger Park Preferred Plan North (See appendix for enlarged plans)

## Master Plan

Descriptions of the materials and site amenities proposed in the master plan are detailed in the cost estimate found in the appendix.

### SITE MAINTENANCE

During the design development stages of the project, the selection of furnishings, materials, and plantings should focus on durability and low levels of required maintenance.

Park and trail maintenance should not be deferred. Deferring maintenance for short-term savings is a strategy with a poor chance of long-term success. Most funding agencies do not fund operational costs. If the park quality deteriorates and does not provide a high quality recreation experience, it will lose popular support.

### SAFETY AND CRIME DETERRENCE

Basic park rules such as closing the park from dusk till dawn; encouraging use by neighbors; and random police patrols is the best way to deter crime in parks. It is recommended that structures, courts, playgrounds, and other valuable recreation facilities be located to take advantage of clear public views into the site. Trail and site design should attempt to create or enhance clear definition of the public space.

To deter unwanted nighttime activity it is recommended that all structures be installed with motion sensor security lights. Motion sensor lights will also help to alert neighbors to unwanted night time activity. These lights are now available as solar powered units—eliminating the need and cost of obtaining electrical service connections. Surveillance video cameras are also used extensively by police departments.

Initially, while park use is low, there may be a greater occurrence of unwanted activity. Littering, vandalism and underage drinking are typical negative activities that occur at some parks. As runners, hikers and other users populate the park, they will become the eyes and ears of “authority” with cell phones. People who engage in negative activities do not wish to be seen performing

these activities in populated places and usually will go elsewhere.

Park users can also help the Township maintain and operate the trails. When there are problems, trail users can notify the Township about the issue. It is important that municipal office phone numbers and e-mail addresses be posted at the various park entrances, parking areas and trail connection access points as a part of park signage.

### EMERGENCY AND MAINTENANCE ACCESS

The perimeter loop trail should be designed to be accessible by police vehicles and ambulances to deal with inevitable emergencies. These perimeter trails can be built to a sufficient width (8 feet) and may be paved with an asphalt surfacing material to allow for maintenance and emergency vehicle access. Municipal maintenance vehicles, such as pickup trucks, will also access the trail for periodic inspections or maintenance. Bollards, gates and other vehicular controls can be designed to keep out private motor vehicles at trail access points.

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## CHAPTER 4:

# IMPLEMENTATION AND FUNDING STRATEGY

### Project Phasing

Improvements to Koons and Wolfersberger Parks will most likely occur in phases, based on available funding, with multiple options for project phasing. The timing and scope of the phases will not only be determined by the amount of future funding available, but also by the needs of local sports organizations. Phasing Plans for both parcels are included to suggest potential strategies for implementation of improvements over time.

Phasing for each park can occur independently or concurrently, based on the compatibility of uses proposed. One of the major benefits of the parks being located in close proximity is that activities can be shifted from one park to reduce impacts of construction on park uses. This Master Plan identifies several active recreational uses to be relocated from Koons Park to Wolfersberger Park. To minimize disturbances to the users of these facilities, it is recommended in the phasing plan that that these relocations be coordinated so that facilities removed from Koons Park will already be reconstructed at Wolfersberger Park. This phasing plan should be considered for the following reasons:

- The phasing plan minimizes the amount of park facilities taken off-line for construction at any one time;
- Existing facilities at Koons Park are heavily used by local sports organizations and contain many of the Township active recreation facilities. The existing fields cannot afford to be taken off-line without supplying alternate field locations;
- Public consensus indicated a desire to retain softball and tennis facilities. These uses are provided for by

plans that call for the relocation of two softball fields and four tennis courts to Wolfersberger park.

### Estimate of Probable Development Costs

A detailed estimate of probable development costs is based on the proposed improvements shown on the preferred plans for each park. Unit costs were established based on construction costs for similar projects and reflect prevailing wage rates that are required for public construction projects. A detailed cost estimate spreadsheet is included in the appendix of this report with a summary of the improvement costs, per phase, outlined in this section.

### Phased Capital Program

The phases described in this plan are intended as a guide to assist the Township to make decisions on moving forward over a 10-15 year period. It is suggested that the during the first three years, the Township apply for additional funding, complete surveying, construction documentation and obtain permit approvals for Wolfersberger Park. This strategy allows for the creation of new facilities at Wolfersberger before Koons facilities are taken offline for rehabilitation.



Fig. 4.1 Koons Park Phasing Map

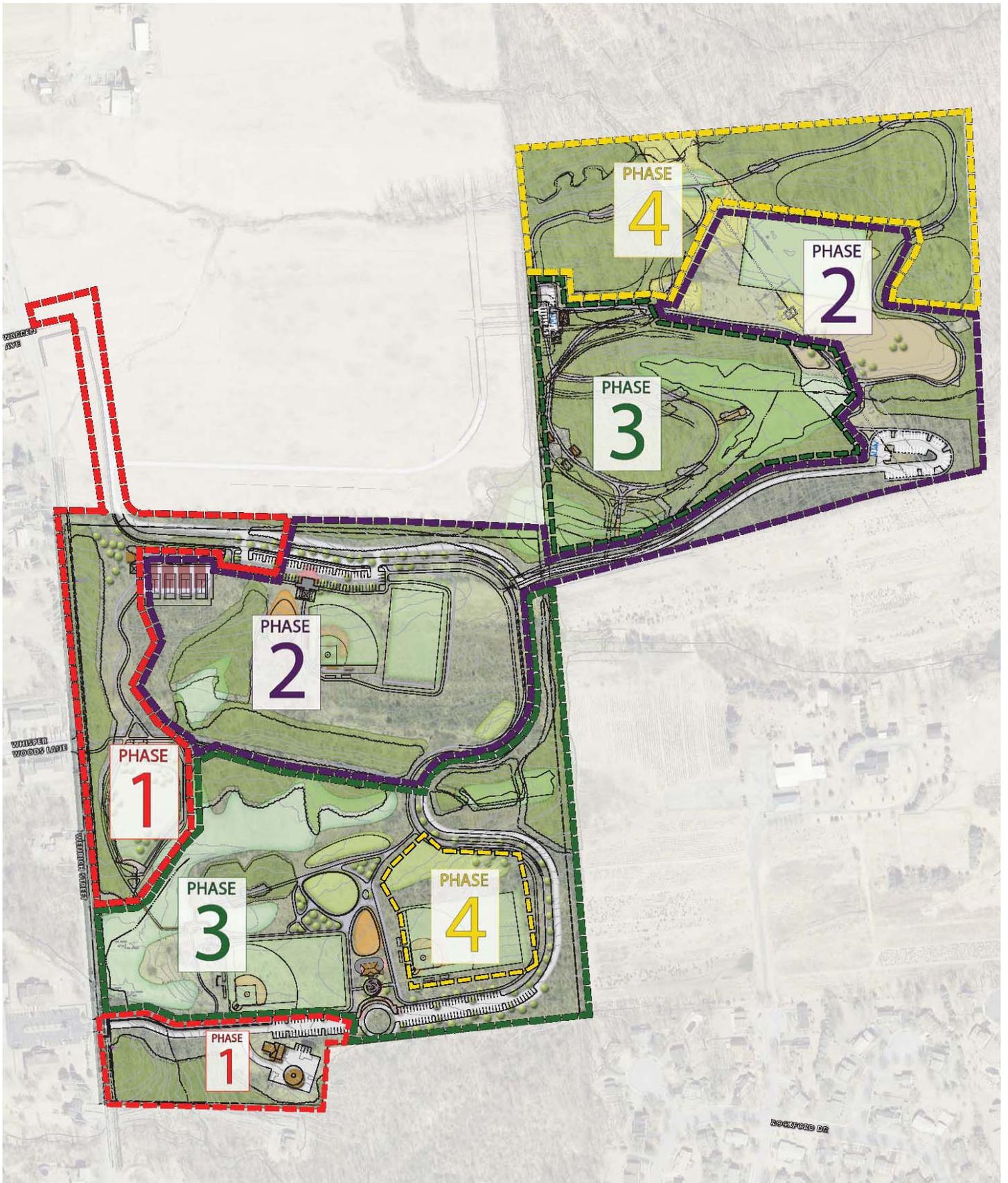


Fig 4.2 Wolfersberger Park Phasing Map

## Koons Park / Wolfersberger Park

## General Development Phasing Plan

	<u>PHASE ONE</u> <u>YEAR 1-3</u>	<u>PHASE TWO</u> <u>YEAR 4-6</u>
<b>KOONS PARK</b>		
SITE IMPROVEMENTS / New FACILITIES	<ul style="list-style-type: none"> <li>• REBUILD LAPORTE STREET PARKING AREA &amp; NEW PARK ENTRY</li> <li>• BUILD (1) NEW TOT LOT PLAYGROUND</li> <li>• RELOCATE EXISTING PAVILION</li> <li>• RELOCATE THE FOOTBALL PRACTICE FIELD IN PLACE OF THE REMOVED TENNIS COURTS</li> <li>• BUILD THE FIRST STORMWATER MANAGEMENT AREA</li> <li>• BUILD THE NEW PARK ENTRY DROP OFF AREA.</li> </ul>	<ul style="list-style-type: none"> <li>• BUILD (1) NEW TEENER BASEBALL FIELD, WALKWAYS, AND ADJACENT PARKING AREA OFF OF RASPBERRY LANE.</li> <li>• BUILD (1) NEW PONY BASEBALL FIELD AND PARKING AREA OFF OF BALTHASER STREET.</li> <li>• BUILD BALTHASER STREET IMPROVEMENTS INCLUDING WALKWAYS, SPEED TABLES, AND CROSSWALKS</li> <li>• BUILD (2) NEW STORMWATER MANAGEMENT AREAS.</li> </ul>
FACILITIES TAKEN OFF-LINE	REMOVE (4) TENNIS COURTS	REMOVE (1) SOFTBALL FIELD, (1) PONY BASEBALL FIELD, (1) PRACTICE FIELD, AND (1) SALT STORAGE FACILITY
SUB-TOTAL KOONS \$6.35 M	\$1.3 M	\$1.8 M
<b>WOLFERSBERGER PARK</b>		
SITE IMPROVEMENTS / New FACILITIES	<ul style="list-style-type: none"> <li>• BUILD MAIN ENTRY DRIVE AND PORTION OF PARKING AREA.</li> <li>• BUILD DOG PARK AND ASSOCIATED WALKWAYS.</li> <li>• BUILD MAINTENANCE BUILDING AND SALT STORAGE FACILITY.</li> <li>• BUILD (3) CROSSINGS ON WENRICH STREET.</li> </ul>	<ul style="list-style-type: none"> <li>• FINISH CONSTRUCTION OF MAIN PARKING AREA.</li> <li>• BUILD PAVILION/ RESTROOMS.</li> <li>• BUILD (4) NEW TENNIS COURTS, (1) SOFTBALL FIELD, (1) SOCCER FIELD, AND SLEDDING HILL.</li> <li>• EXTEND ENTRY DRIVE TO THE NORTH PARK.</li> <li>• BUILD NORTHERN SITE PARKING AREA AND NEW PAINTBALL FACILITIES.</li> <li>• BEGIN TREE RESTORATION AREA.</li> </ul>
FACILITIES FORMALLY AT KOONS BROUGHT ON-LINE TO WOLFERSBERGER	BUILD (1) SALT STORAGE FACILITY	BUILD (4) TENNIS COURTS, AND (1) SOFTBALL FIELD
SUB-TOTAL WOLFERSBERGER \$5.135 M	\$1.42 M	\$2.2 M
<b>TOTAL KOONS + WOLFERSBERGER</b>		

<p align="center"><b><u>PHASE THREE</u></b> <b><u>YEAR 7-10</u></b></p>	<p align="center"><b><u>PHASE FOUR</u></b> <b><u>YEAR 11-15</u></b></p>
<ul style="list-style-type: none"> <li>• BUILD CONCESSION STAND, SAND VOLLEYBALL COURTS, AND T-BALL FIELD.</li> <li>• RESURFACE BASKETBALL COURTS AND VOLLEYBALL COURTS.</li> <li>• REBUILD NEW PARKING AREA OFF KOONS PARK ROAD</li> <li>• BUILD A NEW PEDESTRIAN BOULEVARD WITH CENTRAL BAND STAND AND ZERO DEPTH FOUNTAIN.</li> <li>• BUILD NEW STORMWATER MANAGEMENT AREAS AT THE SOUTHERN END OF THE SITE.</li> </ul>	<ul style="list-style-type: none"> <li>• REGRADE THE AREA TO ALLOW FOR (1) NEW FOOTBALL AND (2) NEW PRACTICE FIELDS.</li> <li>• ADD FENCING AND LIGHTS TO THE PRACTICE FIELDS.</li> <li>• BUILD WALKWAY AROUND THE FIELDS.</li> </ul>
<p align="center">REMOVE (1) SOFTBALL/BASEBALL FIELD, (1) PRACTICE FIELD, AND (2) T-BALL FIELDS</p>	<p align="center">REMOVE (1) SOFTBALL FIELD</p>
<p align="center">\$2.25 M</p>	<p align="center">\$1 M</p>
<ul style="list-style-type: none"> <li>• BUILD MAJORITY OF THE SOUTHERN PORTION OF THE PROPERTY INCLUDING (2) PARKING AREAS, BOULDER PLAZA, PAVILION/RESTROOMS, PLAYGROUND, AND COMMUNITY GARDENS.</li> <li>• BUILD WETLAND BOARDWALK AND LOOP TRAIL CONNECTING NORTH AND SOUTHERN AREAS OF THE PARK.</li> <li>• BUILD SMALL PARKING AREA AT NORTHERN SITE WITH RESTROOMS, FOOTBRIDGE, BOARDWALK LOOKOUT, AND PICNIC GROVE.</li> <li>• BUILD (2) NEW STORMWATER MANAGEMENT AREAS</li> <li>• BUILD (1) MULTI-PURPOSE FIELD</li> </ul>	<ul style="list-style-type: none"> <li>• BUILD MULTI-PURPOSE FIELD AT SOUTHERN SITE ALONG WITH AN ASSOCIATED STORMWATER MANAGEMENT AREA.</li> <li>• COMPLETE PAINTBALL WOODLAND FIELD AT THE NORTHERN SITE.</li> </ul>
<p align="center">NONE.</p>	<p align="center">BUILD (1) MULTI-PURPOSE FIELD</p>
<p align="center">\$1.34 M</p>	<p align="center">\$0.175 M</p>

## Regulatory Requirements

A number of permit requirements will apply to the projects and must be addressed during design and project development.

### NPDES EROSION AND SEDIMENTATION CONTROL

Construction projects that involve the disturbance of more than one acre of earth will require an NPDES Stormwater Permit for construction activities. As part of the NPDES permitting process, the proposed stormwater management areas will be reviewed to determine that the 2-year storm event is infiltrated into the ground. In some cases, local conservation districts will waive NPDES requirements for trail projects that disturb slightly more than 1 acre of land. All project phases must comply with the stipulations of PA Code Chapter 102, Erosion and Sediment Control are reviewed and approved by the local Conservation District before any earthmoving project begins. Conservation districts usually wish to review the entire development plan, even if it will be constructed in phases.

### LAND DEVELOPMENT

Park and trail design is usually not specifically addressed in municipal ordinances. The Township will have to decide which, if any, provisions from local requirements will be applied to this project.

## Potential Funding Sources

### PA DCNR COMMUNITY CONSERVATION PARTNERSHIP PROGRAM

The PA DCNR Community Conservation Partnership Program (C2P2) provides funding for communities and nonprofit organizations to acquire, plan and implement open space, conservation and recreation resources, including trails. DCNR accepts grant applications annually—with deadlines usually in April. Projects will receive additional consideration for using “green” technology or practices. The next C2P2 application deadline will be in April 2014. DCNR funds can be used for discrete projects or as a match to most federal funds

for trails. DCNR requires a 50–50 match (cash or in kind services) to its grant awards.

More information on this program can be found at the DCNR website: <http://www.dcnr.state.pa.us/brc/grants/indexgrantsinstruct.aspx>

### PA DEP GROWING GREENER II

The Growing Greener Program is an environmental grant program established under the Environmental Stewardship and Watershed Protection Act. Funds are distributed among four state agencies: the Department of Agriculture to administer farmland preservation projects; the Department of Conservation and Natural Resources for state park renovations and improvements; the Pennsylvania Infrastructure Investment Authority for water and sewer system upgrades; and the Department of Environmental Protection for watershed restoration and protection, abandoned mine reclamation; and abandoned oil and gas well plugging projects.

Grants are available to a variety of eligible applicants, including counties, municipalities, county conservation districts, watershed organizations, and other organizations involved in the restoration and protection of Pennsylvania’s environment. These grants will support local projects to clean up “non-point” sources of pollution throughout Pennsylvania. Application guidance packages outlining project type ranking are available late June on the DEP website. Applications for this grant should be submitted before August 16.

Growing Greener projects applicable to Koons Park and Wolfersbeger Park might include DEP-funded local watershed protection and restoration projects, such as riparian buffer planting and stream bank restoration. It may also be possible to coordinate Growing Greener grants with other grants for trail construction.

More information on this program can be found at the PA DEP website: <http://www.depweb.state.pa.us/growinggreener/site/default.asp>

## **DCED GREENWAYS, TRAILS AND RECREATION PROGRAM (GTRP)**

The Department of Community and Economic Development (DCED) Greenways, Trails and Recreation Program (GTRP) is a new program that helps fund for planning, acquisition, development, rehabilitation and repair of greenways, recreational trails, open space, parks and beautification projects.

This agency has an open application period throughout the year, but applications should be submitted as early as possible in the fiscal year before July 21. Most projects require a 50% local match of total project cost.

More information on this program can be found at the DCED website: <http://www.newpa.com/find-and-apply-for-funding/funding-and-program-finder/greenways-trails-and-recreation-program-gtrp>

## **PENNVEST**

Pennvest oversees the administration and finance of the Clean Water State Revolving Fund (CWSRF) and the Drinking Water State Revolving Fund (DWSRF) for the state of Pennsylvania. The CWSRF program provides funding to projects throughout Pennsylvania for the construction and maintenance of wastewater treatment facilities, storm water management projects, nonpoint source pollution controls, and watershed and estuary management. The program offers low interest loans with flexible terms to assist a variety of borrowers that include local governments, municipalities, and privately owned entities and to establish partnerships to leverage other funding sources. Stormwater remediation might be an eligible project for Koons Park.

Additional information is available at: [http://www.portal.state.pa.us/portal/server.pt/community/funding\\_programs/9322](http://www.portal.state.pa.us/portal/server.pt/community/funding_programs/9322)

## **THE RECREATIONAL TRAILS PROGRAM (RTP)**

The Recreational Trails Program (RTP) provides federal funds under the Moving Ahead for Progress in the 21st

Century Act (MAP-21). MAP-21 is the successor to the Safe, Accountable, Flexible, Efficient Transportation Equity Act: A Legacy for Users (SAFETEA-LU).

Funds are allocated to the states to develop and maintain recreational trails and trail-related facilities for both non-motorized and motorized recreational trail uses. The RTP is an assistance program of the FHWA funded by the federal fuel tax. In Pennsylvania, the RTP is administered by the PA DNCR Bureau of Recreation and Conservation in consultation with the Pennsylvania Recreational Trails Advisory Board, which is composed of both motorized and non-motorized recreational trail users.

Match requirements for Pennsylvania Recreational Trails Program Grants are 80% grant money, up to a maximum of \$100,000, and 20% project applicant money. "Soft match" (credit for donations of funds, materials, services, or new right-of-way) is permitted from any project sponsor, whether a private organization or public agency.

Eligible applicants include federal and state agencies, local governments and private organizations. Funding may be used for the development of urban trail linkages near homes and work-places; maintenance of existing recreational trails; development of trail-side and trail-head facilities; provision of features that facilitate the access and use of trails by persons with disabilities; acquisition of easements for trails, or for trail corridors identified in a state trail plan; acquisition of fee simple title to property from a willing seller; and construction of new trails on state, county, municipal, or private lands. For more information: <http://www.fhwa.dot.gov/environment/rectrails/>

## **THE TRANSPORTATION ALTERNATIVES PROGRAM (TAP)**

The Transportation Alternatives Program (TAP) provides federal funds under the Moving Ahead for Progress in the 21st Century Act (MAP-21). MAP-21 is the successor to the Safe, Accountable, Flexible, Efficient Transportation Equity Act: A Legacy for Users (SAFETEA-LU).

In Pennsylvania, the Department of Transportation (PennDOT) administers several MAP-21 bicycle and pedestrian related programs, including TAP funds. Typically, a non-federal match is required to be 20% of the grant award. A strategy preferred by PennDOT is to require the local partner to prepare construction documents and obtain necessary environmental clearances, property control documents and utility relocations plans as the local match for these “pre-construction” tasks - so that the project is ready for construction using the TAP funding. The costs to prepare these documents can be the non-federal match to the MAP-21 funds, and does not necessarily need to be exactly 20% if all needed documentation can be completed for less. For more information: <http://www.fhwa.dot.gov/map21/summaryinfo.cfm>

### **ENVIRONMENTAL EDUCATION**

The Pennsylvania Environmental Education Grants Program awards funding to schools, nonprofit groups and county conservation districts to develop new or expand current environmental education programming. The funds are administered through the Pennsylvania Department of Environmental Protection for projects ranging from creative, hands-on lessons for students and teacher training programs to ecological education for community residents. Educational resources, including exhibits, educational signage, and demonstration projects, also qualify for funding.

The US Environmental Protection Agency is another potential source of funding for environmental education programs. The US EPA awards grants of \$50,000 or less through its regional offices, and grants up to \$100,000 through its Washington, DC headquarters.

### **LEGISLATIVE FUNDING**

State and federal elected officials can sometimes include items into legislation for worthy projects in their districts. A conversation between county and municipal officials and legislators is the way to begin this process. This type of funding should be targeted toward capital improvement projects.

### **LOWER PAXTON TOWNSHIP**

Some grant programs allow “in-kind” services to count as a local match. It is suggested that the Township keep a record of municipal staff and/or volunteer time spent on Koons Park and Wolfersberger Park. Occasionally, grantors may allow time spent to date to count as part of the in-kind match for funds. This record will also demonstrate a continuing commitment by the municipality to the successful implementation of the master plan. The Township may in some cases choose to invest municipal funds in specific aspects of the park development to “leverage” funding from other partners.

Grant programs that require matching funds present an opportunity for the Township to engage in targeted fundraising efforts and to partner with other organizations.

### **PRIVATE FOUNDATIONS**

There may be regional corporations and foundations that support public works such as park development. Competition for these funds is usually brisk, but opportunities should be researched. Funding is often to non-profit organizations.

Foundations and institutions represent another potential source of funding for education-related site improvements and programming. Grants are available to support student field trips, provide teacher training in science, and provide other educational opportunities. Education tied to research can increase the pool of potential funds. The science community and research institutions are the logical starting points for soliciting foundation funds.

### **SCHOOLS AND LOCAL SPORTS ORGANIZATIONS**

Local schools and sports organizations may also be of assistance in several ways. These groups might get involved with clubs, fundraising events, and park cleanup days. The school faculty might incorporate the parks into various curricula with students helping to

develop and possibly maintain the park as part of a classroom assignment or after school club. While the amount of funds raised may be relatively small, this process builds constituents and support that is critical to the long-term success of the park. Likewise, local sports organizations would be expected to continue to provide maintenance, resurfacing or other in-kind services related to the upkeep of the sports fields.

## Design Considerations

### ACCESSIBILITY

Proposed trails and other facilities should be designed in compliance with the ADA accessibility guidelines for outdoor recreation areas where applicable. These guidelines may be found at the following website: <http://www.access-board.gov/outdoor/>

#### Reference Sources:

*Guide For Development of Bicycle Facilities*, American Association of State Highway and Transportation Officials (AASHTO), 1999;

*Trails for the Twenty-First Century: Planning, Design, and Management Manual for Multi-Use Trails, Rails to Trails Conservancy (RTC)*, 1993.

*Statewide Bicycle & Pedestrian Master Plan, Bicycling & Walking in Pennsylvania - A Contract for the 21<sup>st</sup> Century: Bicycle Guidelines*, Commonwealth of Pennsylvania Department of Transportation.

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# KOON'S MEMORIAL PARK POOL

Lower Paxton Township • Harrisburg, PA



## POOL FEASIBILITY STUDY



# A LOOK AT THE EXISTING FACILITY...

## Photo Documentation

Prepared & Presented by:



In Association with:



The following analysis of the Koon's Memorial Park Pool is intended to identify all relevant conditions that effect the continued operation of this facility. The following pages include photo documentation of the existing Koon's Memorial Park Pool and its support elements. The elements include but are not limited to:

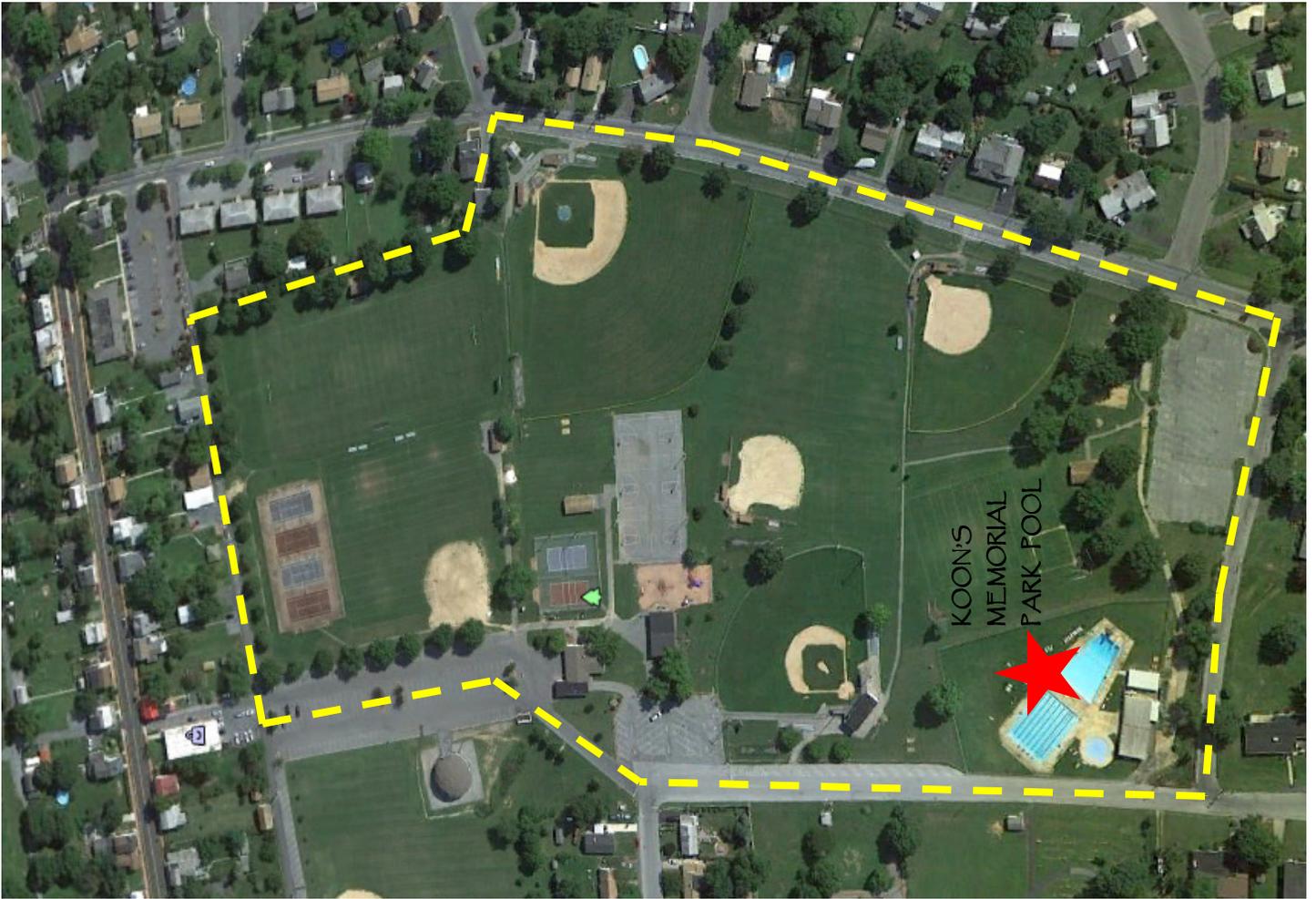
- *Main swimming pool structure*
- *Gutter and recirculation piping*
- *Pool decks and deck equipment*
- *Bathhouse structure*
- *Filtration plant*
- *Sanitation system*
- *Code review*

The photo documentation will also identify existing deficiencies, non conformance code issues, and most importantly, life/safety issues. This will be followed by a series of recommendations that will provide the Township with various options for renovation.

It is important to note that the existing conditions observed are normal for a pool of this age. The typical lifespan of a commercial pool is approximately 25 years without a major renovation. This pool is currently in its 50th year of operation and without question the administration of the pool has performed its task with great diligence and care. The pool and support facilities do require attention to revitalize its presence and extend its service to the community and the membership served by the complex.

Very little information regarding the pool structure and bathhouse facilities were available for review, accordingly, the recommendations presented herein are based upon years of experience in the swimming pool industry and a thorough physical investigation of the pool in an empty state, however, we did not have the benefit of observing the pool in operation. Without the continuing care that the administration of the pool has performed over the years, the Koon's Memorial Park Pool in all likelihood would have been taken out of service by now.

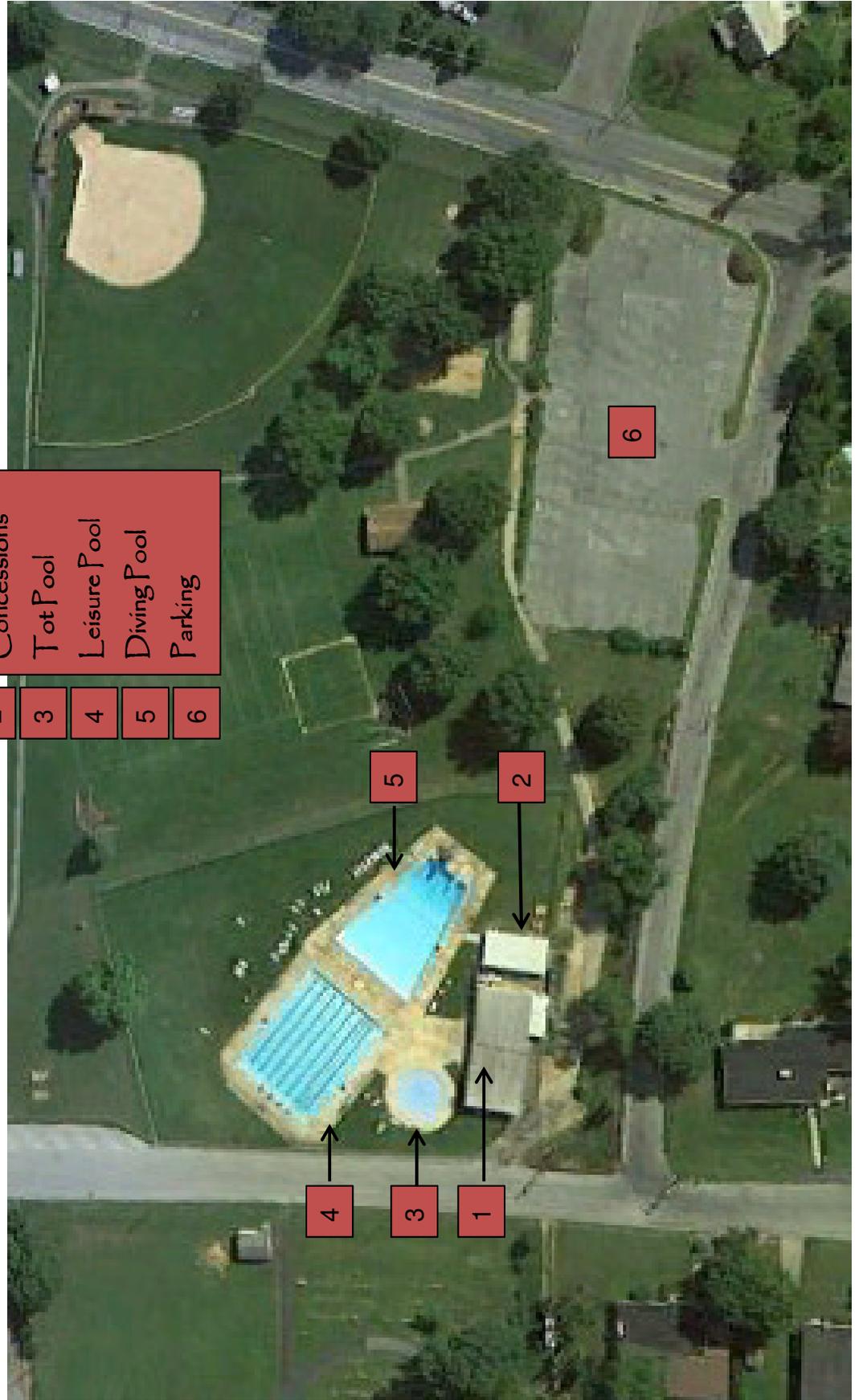
# KOON'S PARK... Existing Park Site



# KOON'S MEMORIAL PARK POOL...

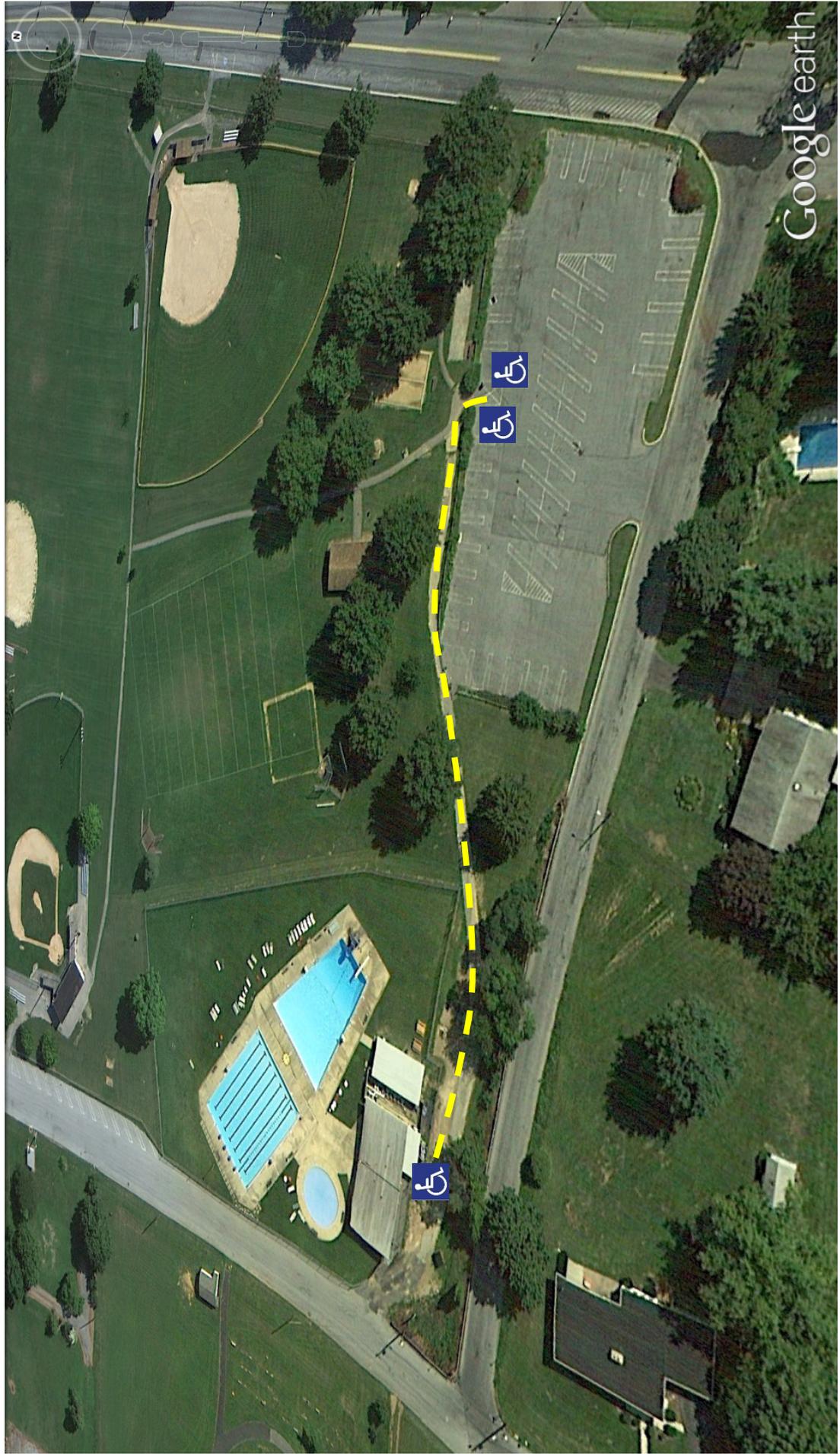
## Existing Pool Facilities

- |   |              |
|---|--------------|
| 1 | Bathhouse    |
| 2 | Concessions  |
| 3 | Tot Pool     |
| 4 | Leisure Pool |
| 5 | Diving Pool  |
| 6 | Parking      |



# EXISTING SHARED PARKING...

56 Spaces (3 Identified as Handicap Accessible)



# ACCESSIBLE PARKING/ROUTE...

## 206.2.1 Advisory: Site Arrival Points. **\*\*EXISTING NON-COMPLIANT\*\***

Each site arrival point must be connected by an accessible route to the accessible building entrance or entrances served. Where two or more similar site arrival points, such as bus stops, serve the same accessible entrance or entrances, both bus stops must be on accessible routes. In addition, the accessible routes must serve all of the accessible entrances on the site.

## 206.2.2 Within a Site. **\*\*EXISTING NON-COMPLIANT\*\***

At least one accessible route shall connect accessible buildings, accessible facilities, accessible elements, and accessible spaces that are on the same site.

## 208.2 Advisory: Minimum Number of Parking Spaces. **\*\*EXISTING NON-COMPLIANT\*\***

The number of parking spaces required to be accessible is to be calculated separately for each parking facility; the required number is not to be based on the total number of parking spaces provided in all of the parking facilities provided on the site.

Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3 
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

Code Provisions Referenced Above Can Be Found Within The 2010 Ada Standards For Accessible Design, International Building Code, International Swimming Pool And Spa Code, And ANSINSPF-1.

# ACCESSIBLE ROUTE...

## DEFICIENCIES

- Exceeds Permitted Running Slope and Cross Slope
- Deteriorated Surface
- Non-Exist Detectable Warnings



Route from Laporte

Route from Parking





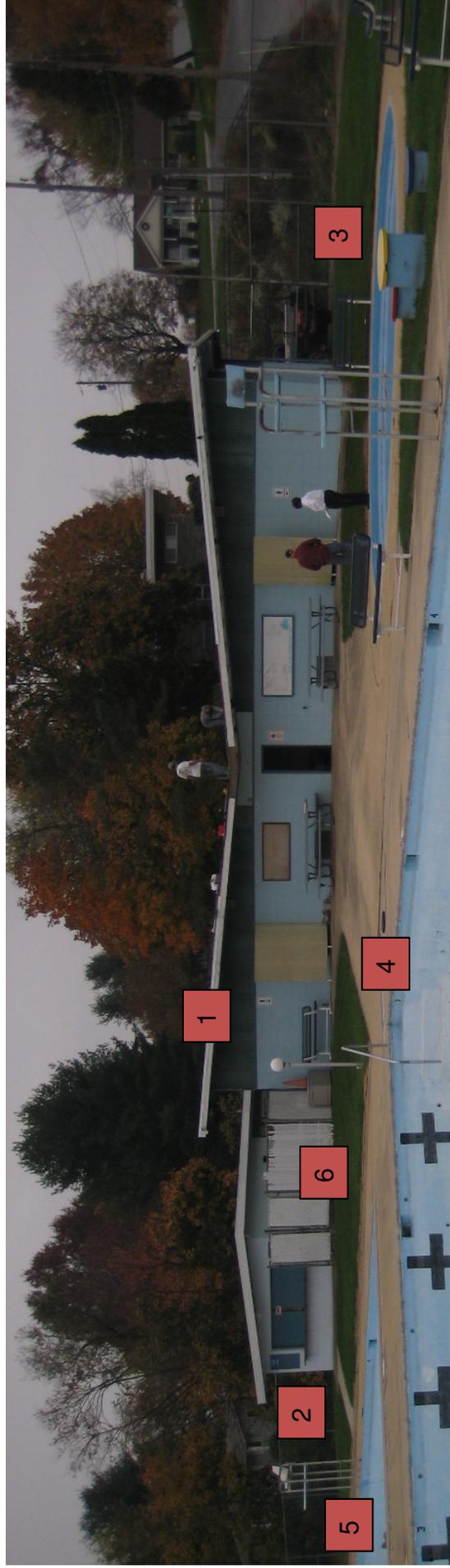
# KOON'S PARK POOL

Non-Descript Point of Entry

■ Create Facility Appeal/Focal

# KOON'S MEMORIAL PARK POOL

## Facilities and Services



1	Bathroom
2	Concessions
3	Tot Pool
4	Leisure Pool
5	Diving Pool
6	Filter Plant

### DEFICIENCIES

- Non-Compliant Points of Entry (Locker Rooms)
- Deteriorated Concrete Surfaces
- Deteriorated Filtration Plant Enclosure
- Exterior Improvements & Finishes Desirable

# SITE

## Deck Drainage & Surfaces

- Eliminates Accessibility to Concessions
- Eliminates Accessibility to Leisure Pool
- Major Deterioration & Settlement
- Safety! Tripping Hazards



# POOLS

## Shells & Deck Equipment

- Major Deterioration of Plaster Finish Coat
- Major Deterioration of Reinforced CMU Walls
- Major Deterioration of Concrete Coping
- Non-Compliant Steps
- Non-Exist Rail Goods
- Non-Compliant Leisure Pool Depth (for starts & turns)
- Non-Compliant Dive Pool Depth & Pool Profile
- Non-Exist Guard Rails on 1MBd.
- Non-Compliant Slide Too High Above Water, Extension Over Pool, Too Close to 1MBd. & Surface Rust
- Non-Accessible Means of Access into Pools
- Improper Deck Markings
- Exposed Bonding Wires



# POOLS

*Existing Conditions*



# TOTAL ALLOWABLE OCCUPANCY...

Based on Pool Water Surface Area

Location	Area	Area/Occupant	Occupants
Shallow Water	7,466 SqFt	12 SqFt	622 Patrons
Deep Water	342 SqFt	15 SqFt	23 Patrons
Diving Stands	300 SqFt	1 Ea	1 Patron
NOTE: Allowable SqFt/Diving Stand			
Total Occupancy Load			646 Patrons

Figures Above Are Derived From ANSINSPF-1 (American National Standard for Public Swimming Pools).

# PLUMBING FIXTURE COUNT

Requirements Based on Occupancy

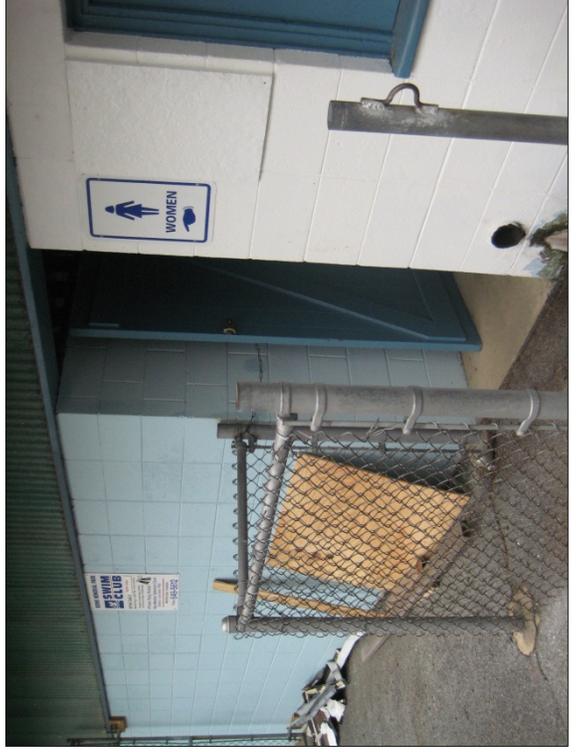
Fixture	Male			Female		
	Existing	Required	Existing	Required	Existing	Required
Water Closet	3	5	4	9		
Urinal	2	3	NA	NA		
Lavatory	3	3	3	5		
Shower	1	7	1	7		
Baby Changing Station	0	1	0	1		
Drinking Fountain	1 Required					
Service Sink	1 Required					
Hand Sink - First Aid	1 (1 Required in First Aid Area)					

Figures Above Are Derived From ANSINSP1-1 (American National Standard for Public Swimming Pools and the International Building Code 2012 table 2902.1

# MEN and WOMEN LOCKER ROOMS

## Existing Conditions/Deficiencies

- Non-Accessible Entrances
- Non-Compliant ADA Toilet Stalls
  - Size and Rails Goods
- Non Compliant Fixture Counts
- No Privacy Stalls and/or Dressing Compartments
- Finish and Material Modifications to Increase Aesthetics
- Fixtures and Fittings ~ Improper Mounting Heights



# SUPPORT SERVICES

## First Aid/ Admissions/ Pool Manager/Guards

- Non-Functional Layout ~ Recommend Reconfiguration
- No Visual Connection with Pools and Patrons
- No Privacy Stalls and/or Dressing Compartments
- Finish and Material Modifications to Increase Aesthetics
- Fixtures and Fittings ~ Improper Mounting Heights

# SUPPORT SERVICES

## First Aid/ Admissions/ Pool Manager/Guards

- Non-Functional Layout – Recommend Reconfiguration
- No Visual Connection with Pools and Patrons
- No Privacy Stalls and/or Dressing Compartments
- Finish and Material Modifications to Increase Aesthetics
- No Sink



# FILTRATION EQUIPMENT

## Deficiencies

- Exterior Filtration Systems are Hard to Maintain
- Filtration Pumps Undersized and Corroded
- Corroded Valves and Electrical Panels
- Piping and Valves Should be Labeled
- Cluttered Piping Hard to Maintain and Operate
- Mix of Schedule 80 and Schedule 40 PVC
- Pumps Undersized for 6-hour Turnover Rate



# CHEMICAL STORAGE ROOM

## Deficiencies



- Acid Used for pH Buffer is Corrosive to Metals  
(Requires Proper Ventilation)
- Corroded Electrical Equipment and Conduit



# POOL HYDRAULIC CALCULATIONS

## *Leisure and Diving Pools*

- 247,000 Gallons +/-
- 6-hour Turnover Rate At 686.00 gpm
- 34.30 Sq. Ft. Filter Area Required at 20 gpm/Sq. Ft.
- (5) Triton II 140c High Rate Sand Filter ~ Total Filter Area of 35.30 Sq. Ft. at 20 gpm/Sq. Ft.
- Backwash Tank Volume ~ 2,118 Gallons
- 5.83 Actual Turnover Time at 20 Gpm/Sq. Ft.

## *Tot Pool*

- 5,287 gallons +/-
- 3-hour Turnover Rate at 44.00 gpm (1-Hour Turnover Rate = 88 gpm)
- 4.40 Sq. Ft. Filter Area Required at 20 gpm/Sq. Ft.
- (1) Hayward High Rate Sand Filter ~ Total Filter Area of 1.40 Sq. Ft. at 20 gpm/Sq. Ft.
- Backwash Tank Volume ~ 84 Gallons
- 3.15 Actual Turnover Time at 20 gpm/Sq. Ft. (1-Hour Turnover Required for Tot Pools)

# KOON'S MEMORIAL PARK POOL

## Recommendations

- Restructure Pools to Meet NCAA Design Standards
  - Insufficient Pool Depths for Kick Turns and Diving
- Pool Relining or Resurfacing
- Upgrade Filtration to Commercial Standards and Enclose/Protect Equipment
  - 1-Hr Turnover Required for Tot Pool
  - 4-Hr Turnover Recommended for Leisure and Diving Pools
- New Concrete Decks, Drainage, and Deck Equipment
- Major Bathhouse Restoration Addressing Circulation and Code Compliance
  - Provide Management Oversight Over Pools and Decks
- New Concessions that Meets Department of Health Minimum Standards

# KOON'S MEMORIAL PARK POOL

Lower Paxton Township • Harrisburg, PA

Thank You For Your Time & Attention !

Prepared & Presented by:



In Association with:



Simone Collins

# MEMORANDUM

**To:** File 723.02

**From:** Jay E. States, P.E.

**Subject:** Koons and Wolfersberger Park Master Plan  
Lower Paxton Township, Dauphin County

**Date:** January 24, 2013

The following is a summary of field views and evaluations conducted at several locations in the study area:

## **Blue Ridge Avenue and Wenrich Street**

- The intersection is a four-leg intersection with STOP sign control on the northbound and southbound approaches of Wenrich Street.
- The northbound approach of Wenrich Street intersects Blue Ridge Avenue in a skewed alignment.
- Sight distance looking right (to the west) from the southbound approach of Wenrich Street along Blue Ridge Avenue is limited by the adjacent steep embankment. The available sight distance does not exceed PENNDOT minimum safe stopping sight distance criteria.
- It is recommended that ALL-WAY STOP control be studied and considered for the intersection.

## **Linglestown Road and Wenrich Street**

- The intersection is a T-intersection with STOP sign control on the northbound approach of Wenrich Street.
- While detailed measurements were not conducted, sight distances at the intersection appear to be sufficient.

# DRAFT

## **Wenrich Street and existing southern Park gravel entrance**

- There is no STOP sign on the gravel entrance westbound approach to Wenrich Street
- Sight distance looking left (to the south) from the gravel driveway along Wenrich Street is limited by the vertical curve along the roadway. The available sight distance does not exceed PENNDOT minimum safe stopping sight distance criteria.
- It is not recommended that this location be considered as a site access driveway to the Park unless significant roadway improvements (elimination of the vertical curve) are implemented.

## **Wenrich Street and existing northern Park gravel entrance**

- There is no STOP sign on the gravel entrance westbound approach to Wenrich Street
- Sight distance looking right (to the north) from the gravel driveway along Wenrich Street is limited by the vertical curve along the roadway. The available sight distance does not exceed PENNDOT minimum safe stopping sight distance criteria.
- It is not recommended that this location be considered as a site access driveway to the Park unless significant roadway improvements (elimination of the vertical curve) are implemented.

## **Wenrich Street and Warren Drive/potential Park entrance**

- The intersection is a T-intersection with STOP sign control on the eastbound approach of Warren Drive.
- Sight distances from a potential Park entrance (located opposite Warren Drive) along Wenrich Street appear to be sufficient.
- Based on a review of other potential access options, it is recommended that this location be considered for further evaluation to serve as access to the Park.

## **Wenrich Street and Whisper Wood Lane/potential Park entrance**

- The intersection is a T-intersection with STOP sign control on the eastbound approach of Whisper Wood Lane.
- Sight distances from a potential Park entrance (located opposite Whisper Wood Lane) along Wenrich Street appear to be sufficient with minor grading.
- Based on a review of other potential access options, it is recommended that this location be considered for further evaluation to serve as access to the Park.

## **Wenrich Street**

- The roadway is currently posted with a 25 mph speed limit.
- Pavement markings include a double yellow centerline and white edge lines.
- There are several vertical curves along Wenrich Street that create sight distance restrictions. In addition, observations of the pavement adjacent to these curves indicate that vehicles (traveling at higher speeds) have “bottomed-out” and created gouges in the pavement surface.

## CHAPTER 5

# TRAFFIC CALMING MEASURES AND DESIGN GUIDELINES

### Selecting Potential Traffic Calming Measures

The selection of traffic calming measures should be based on:

1. The measures potential to address volume or speed reduction on affected roadways.
2. The type of roadway.
3. Actual site conditions.

Specific measures have been grouped into four categories based upon the means by which they reduce volumes or speeds. The following is a description of the categories:

**Horizontal Deflection** – refers to two types of traffic calming measures. The first type hinders the driver's ability to drive in a straight line by creating a horizontal shift in the roadway. This shift forces drivers to slow their vehicles in order to safely navigate the measure. The second type of horizontal deflection measure is designed to narrow the width of the travel lane. Doing so reduces the usable surface of the roadway causing drivers to slow their vehicles to maintain an acceptable level of comfort. Although horizontal deflection measures are mainly used to address speed concerns, applications that narrow the travel lane can improve pedestrian safety by reducing the width of the crossing. Horizontal deflection measures may also have the secondary effect of reducing volumes; however, the effects will typically be minor.

**Vertical Deflection** – refers to traffic calming measures that create a change in the height of the roadway. When designed properly, vehicles must slow down over these measures in order to avoid unpleasant bumping sensations. As with horizontal deflection measures, vertical deflection measures are mainly used to reduce vehicle speeds, with only minor effects on traffic volumes. Vertical deflection measures can also be used to improve the safety of pedestrian crossings.

**Physical Obstruction** – refers to measures that prevent particular vehicle movements, thereby discouraging or eliminating cut-through traffic. The overall traffic volume reduction depends upon the nature of the traffic calming measure and the number of movements obstructed.

**Signs and Pavement Markings** – can be used as traffic calming measures that regulate traffic movements in lieu of physical changes to the roadway. In certain applications, these measures may produce the same effect as the physical traffic calming measures. However, police enforcement is often required to ensure motorist compliance.

Besides their primary function of reducing speeds or volumes, the large majority of measures also have the ability to reduce conflicts between vehicles and pedestrians, bicyclists, and other vehicles. In addition, well designed and landscaped traffic calming measures can enhance a neighborhood's appearance and the quality of life of its residents.

As stated in Chapter 2, traffic calming measures that are implemented to improve pedestrian safety, or have an effect on pedestrian travel, must be designed to meet the requirements set forth in the Americans with Disabilities Act. However, the diagrams of the traffic calming measures in this chapter are not intended to represent actual site conditions or to depict the requirements set forth by the Americans with Disabilities Act.

## Overview of Measures

The following is a list of commonly used traffic calming measures that are discussed in this chapter:

<b>Horizontal Deflection</b>	
Curb extension / bulb-out	Areas of expanded curbing that extend across a parking lane and may narrow a travel lane.
Chicane	Series of 3 bulb-outs, staggered at mid-block locations on alternating sides of the street.
Gateway	Entrance treatment, typically using physical and textural changes, that provides identity to an area.
On-street parking	Provision of on-street parking that reduces roadway width.
Raised median island / pedestrian refuge	Narrow islands, at mid-block or intersections, between travel lanes with breaks in landscaping and curbing for pedestrians.
Traffic circle	Raised island in the center of an intersection that requires vehicles to travel counterclockwise around the circle.
<b>Vertical Deflection</b>	
Textured crosswalk	Use of pavers or other materials to demarcate crosswalks and alert motorists that they are entering a pedestrian-friendly area.
Speed hump	Raised humps in the roadway, typically 3 inches high with a 12 or 22-foot travel length.
Raised crosswalk	Marked pedestrian crossings elevated 3 to 6 inches above street grade at intersections or mid-block.
Raised intersection	Intersections, including crosswalks, raised 3 to 6 inches above street grade.
<b>Physical Obstruction</b>	
Semi-diverter	Directional closure created by physically blocking half the street.
Diagonal diverter	Physical barrier placed diagonally across a four-way intersection to create two unconnected intersections.
Right-in / right-out island	The use of raised islands to prevent left turns and through movements, to and from side streets, at intersections with major streets.
Raised median through intersection	Median barrier through an intersection that discourages through traffic in a residential area by restricting movements.
Street closure	The use of a cul-de-sac to close a roadway by extending a physical barrier across the entire width, obstructing all traffic movements.

Figure 3 depicts the effectiveness of each traffic calming measure in addressing volume and speeding problems. The effects on traffic conflicts (between vehicles and pedestrians, bicyclists, and other vehicles) and emergency services are also summarized.

**Figure 3**  
**EFFECTS OF TRAFFIC CALMING MEASURES**

	Volume Reduction	Speed Reduction	Conflict Reduction	Emergency Response
<b>Horizontal Deflection</b>				
Bulb-out / curb extension	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Chicane	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Gateway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On-street parking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Raised median island / pedestrian refuge	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Traffic circle	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Vertical Deflection</b>				
Textured crosswalk	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Speed hump	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Raised crosswalk	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Raised intersection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Physical Obstruction</b>				
Semi-diverter	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Diagonal diverter	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Right-in / right-out island	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Raised median through intersection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Street closure	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Signing and Pavement Markings</b>				
Speed limit signing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-way stop control	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Turn prohibitions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
One-way streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Commercial vehicle prohibitions	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roadway narrowing with edge lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Transverse markings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Minimal or no effect
- Moderate effect
- Significant effect

The following information provides a description of each measure, its usage, and its effect on speeds and traffic volumes. The advantages of each measure, disadvantages, cost, and other considerations are also presented. The majority of traffic calming measures used today do not have specific design criteria. For this reason, each jurisdiction across the country has modified measures to suit their particular applications. If established design criteria is available or if specific design requirements are recommended by PennDOT, the information is provided. The following depictions are not drawn to scale and are not intended to represent actual site conditions. Information about the application of traditional traffic control devices, such as signing and pavement markings, for use as traffic calming measures is included in Chapter 6.

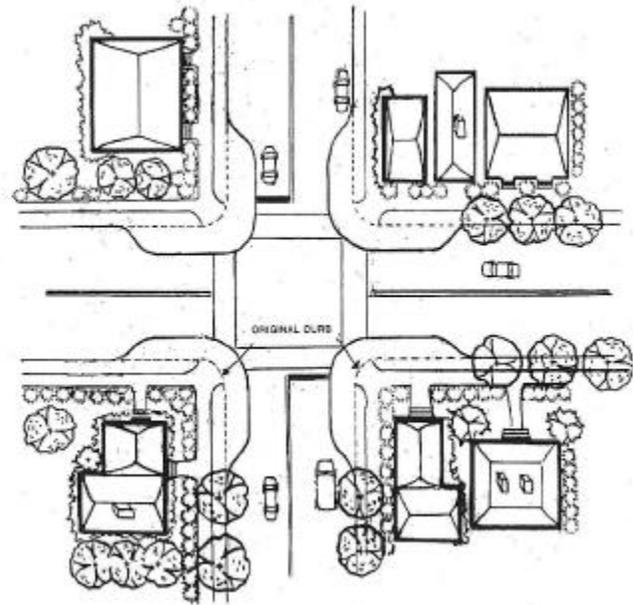
## CURB EXTENSIONS / BULB-OUTS

### Description:

Curb extensions, sometimes referred to as bulb-outs, are areas of expanded curbing.

### Appropriate Locations:

- ❑ Appropriate for all street classifications: local roads, collectors, and arterials.
  - Many jurisdictions extend the curb only 6 feet from the existing curb, which protects parked vehicles, improves pedestrian visibility, and minimizes crossing distance, but does not typically affect the speed of motorists. For extensions that do not result in narrowing of the travel lanes, usage on streets of up to 15,000 ADT with posted speeds up to 40 mph is appropriate.
- ❑ Works well in downtown areas.
- ❑ Primarily used at intersections.
- ❑ Can be used at mid-block locations with significant pedestrian activity, school children, or senior citizens. Mid-block curb extensions may also be used to address speeding on streets where speed humps are not permitted.



### Typical Uses:

- ❑ Reduce the crossing distance for pedestrians.
- ❑ Improve the line-of-sight for pedestrians.
- ❑ Make pedestrians more visible to oncoming traffic.
- ❑ Slow traffic by funneling it through a narrower street opening.
- ❑ Slow vehicles making a right turn by reducing the curb radius.

### Speed/Volume Reductions:

- ❑ Most curb extensions result in speed reductions of 1-2 mph.
- ❑ Potential to reduce speeds by up to 5 mph when significantly narrowing the travel lanes. For example, some jurisdictions use extensions to briefly narrow two travel lanes to a total width of 18 feet. (This width is not recommended for arterials or high-volume collectors.)

### Approximate Cost:

- ❑ Each pair may cost \$7,000 to \$10,000. Mid-block measures may cost less (\$4,000) if they are smaller.

### Signing and Markings:

- ❑ Signing or pavement markings may be needed, especially when installed at a mid-block location.

**Other Considerations:**

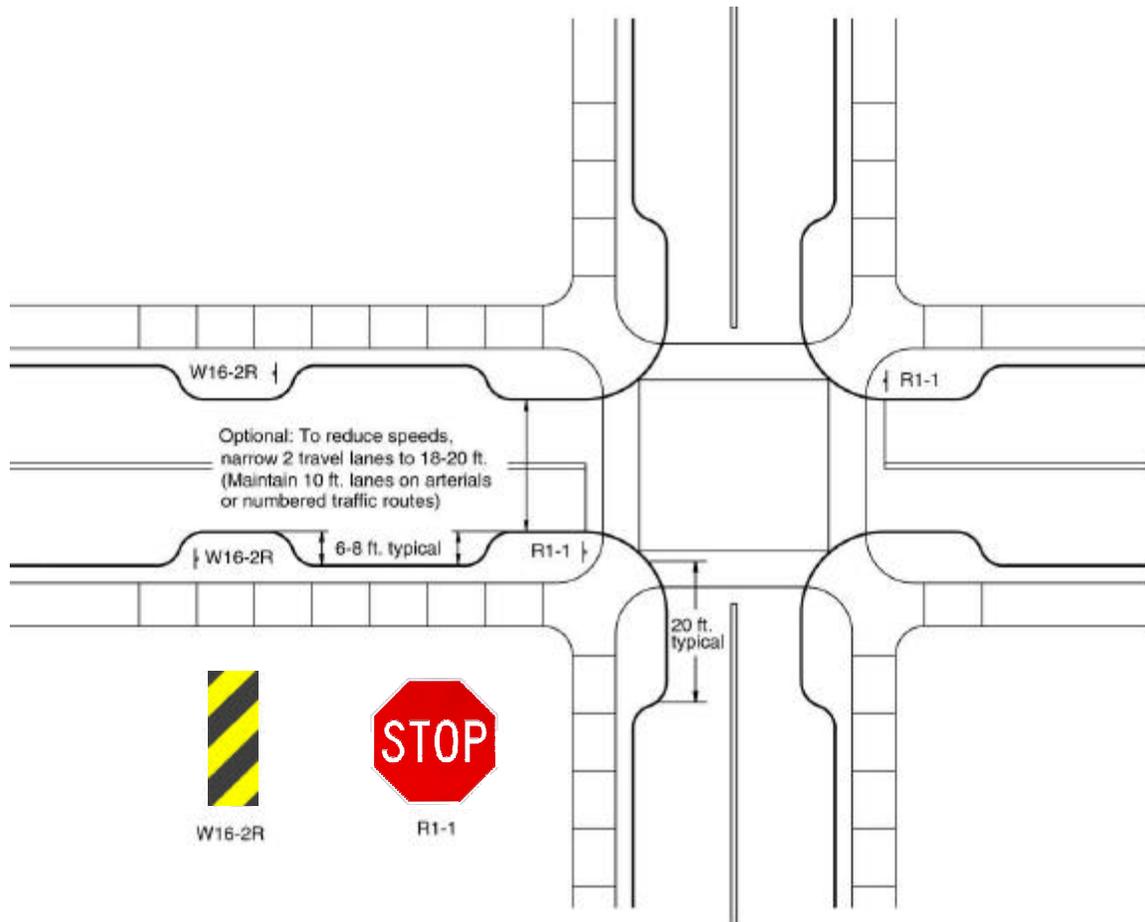
- ❑ Impact on roadway drainage must be addressed. Drainage may be provided by devices such as catch basins, concrete channels, valley gutters, inlets, and trench drains. Ponding on the sidewalk may also occur if the measure is not properly designed.
- ❑ Vertical curb is recommended, but mountable curb can be used if necessary to accommodate turning trucks and buses.
- ❑ Mid-block curb extensions should be combined with crosswalks whenever possible.
- ❑ Provisions should be made for snow and ice removal.

**Advantages:**

- ❑ Improve pedestrian safety.
- ❑ May reduce travel speed.
- ❑ May slow right-turning vehicles.
- ❑ Prevent illegal parking close to intersections.
- ❑ Facilitate pedestrian access directly to transit vehicles without entering street.
- ❑ Can improve neighborhood appearance with landscaping and/or textured treatments.

**Disadvantages:**

- ❑ Can result in loss of one on-street parking space on each side of the road, though at intersections this is unlikely given statutory prohibitions of parking close to intersections.
- ❑ May prevent right turns at intersection when another vehicle is stopped at the stop line.
- ❑ May make it difficult to accommodate full bicycle lanes.



## CHICANES

### Description:

A chicane is a series of three curb extensions staggered on alternating sides of the street, at a mid-block location, which forces vehicles to negotiate the narrowed roadway in a snake-like fashion.

### Appropriate Locations:

- ❑ Most appropriate on local streets which have volumes less than 3,500 vehicles per day.
- ❑ Appropriate on two-lane, two-way streets, or on one-lane, one-way streets.

### Typical Uses:

- ❑ Slow vehicles by forcing motorists to weave through the extensions.

### Speed/Volume Reductions:

- ❑ Can reduce vehicle speeds inside the measures by 5 to 13 mph, and in the vicinity of the measures by 1 to 6 mph.
- ❑ Chicanes may reduce traffic volumes by as much as 20 percent.

### Approximate Cost:

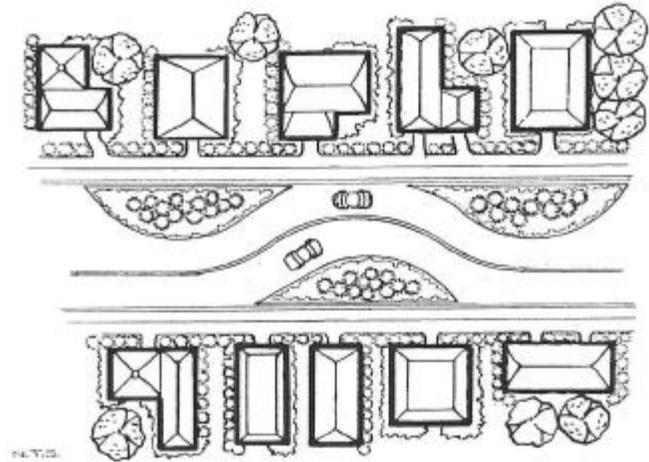
- ❑ Chicanes may cost as much as \$14,000 when the existing curb is removed and new curbing is poured in-place. Chicanes cost approximately \$6,000 where the existing curb is kept and new curb is pre-cast.
- ❑ Pavement markings and flexible delineator posts can be used as temporary measures. The cost for this temporary application is around \$1,000.

### Signing and Markings:

- ❑ The "Left Winding Road Sign" (W1-5L) with an appropriate "Advisory Speed Sign" (W13-1) should be used at least 150 feet in advance of the chicane. Reflectors, street lighting, and elevated landscaping are also recommended to improve visibility.

### Other Considerations:

- ❑ Traffic volumes should be balanced in each direction. Chicanes lose effectiveness when volumes are significantly unbalanced.
- ❑ Chicanes may not be appropriate in areas with high truck traffic.
- ❑ Depending upon the width of the roadway, it may be necessary to ban parking within the chicane.
- ❑ Avoid locations where grades exceed 8 percent.
- ❑ Placement of chicanes will depend on site conditions such as driveway locations.
- ❑ Devices used to construct chicanes typically include curb extensions, planters, trees, barrels, fences or barricades. Care must be taken to ensure that these devices do not create a safety hazard through the introduction of fixed objects on or along the roadway.

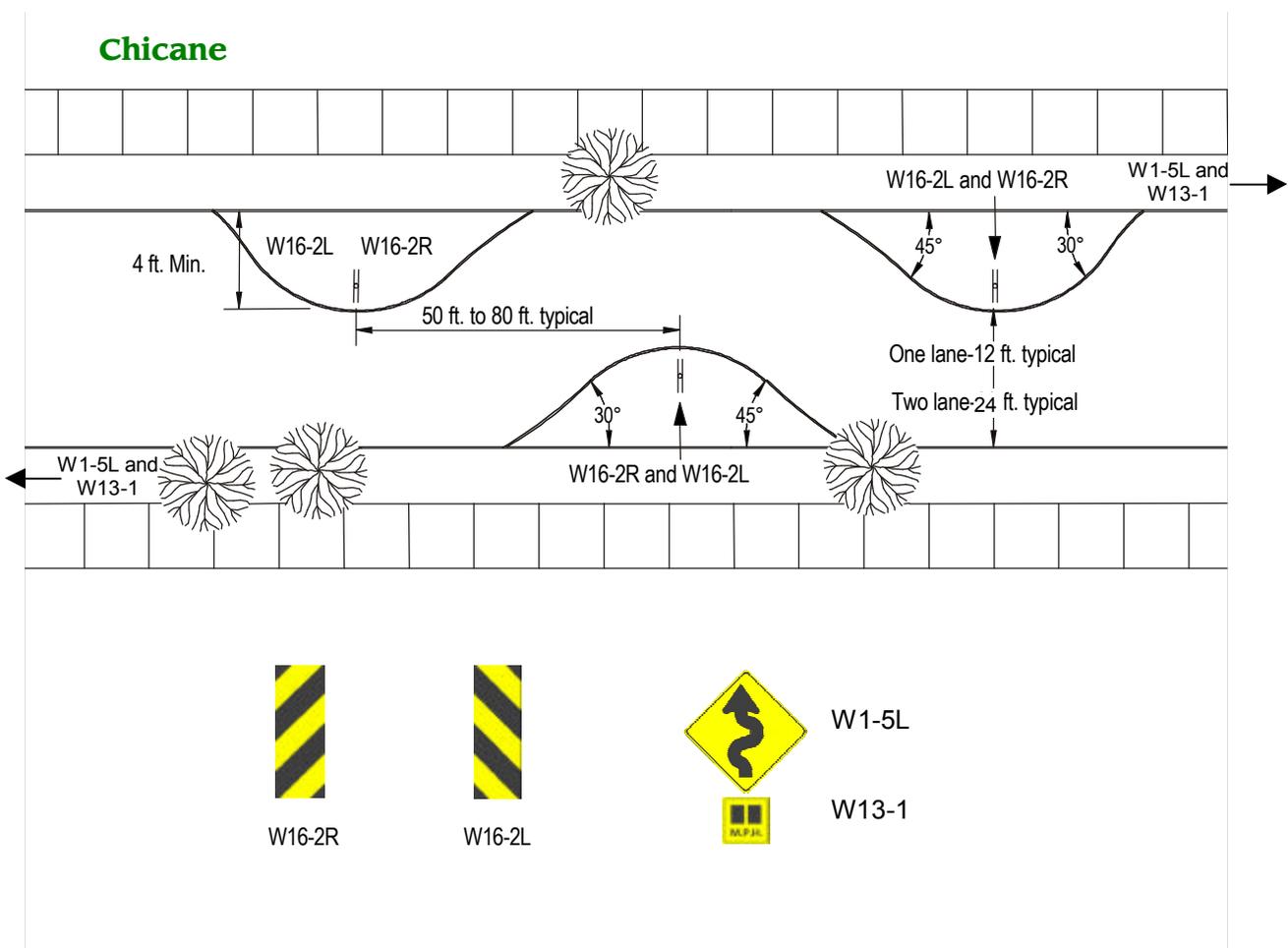


**Advantages:**

- ❑ Reduce vehicle speeds.
- ❑ Reduce traffic volumes.
- ❑ May reduce collisions.
- ❑ Traffic noise may be reduced due to lower speeds and volume.
- ❑ Landscaped chicanes improve street appearance.
- ❑ The Insurance Corporation of British Columbia, summarizing 43 international studies, concluded that chicanes were effective in reducing the number of collisions.

**Disadvantages:**

- ❑ With two-lane chicanes, motorists may attempt to increase travel speeds by crossing the centerline to maintain a straight line of travel.
- ❑ Will require loss of on-street parking spaces.



## GATEWAYS

### Description:

Gateways are special entrance treatments that provide identity to a neighborhood by using a combination of physical and textural changes.

### Appropriate Locations:

- ❑ Local roads only.
- ❑ Entrance to a residential community.

### Speed/Volume Reductions:

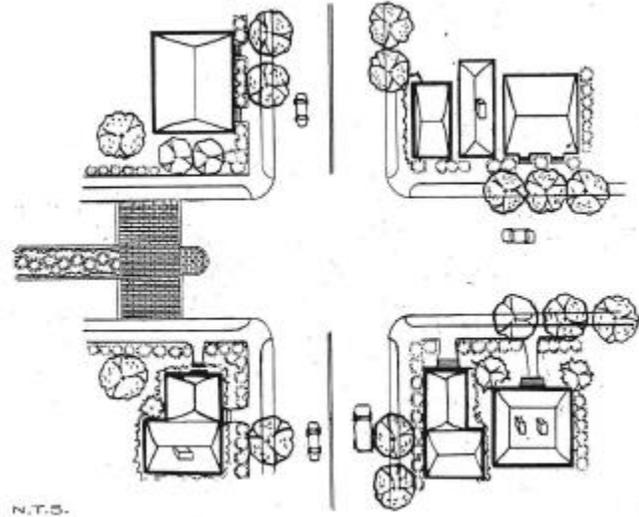
- ❑ May reduce entry speed, depending on the inclusion of other measures such as bulb-outs and planted median islands.

### Approximate Cost:

- ❑ Cost varies widely (\$5,000 to \$20,000) depending on the design and extent of physical elements used.

### Other Considerations:

- ❑ Entrance treatments alone (landscaping, signing, pavement treatments) do not reduce speeds or total volumes, unless combined with other physical measures. They are, however, thought to increase driver awareness of the environment in which they are driving.
- ❑ A number of traffic calming measures such as bulb-outs at the intersection, textured pavement treatments, and median islands may be included in a gateway design. The exact configuration of a gateway will vary based on the location of the gateway, available funding, and any conflicts such as driveways.
- ❑ Landscaped median islands may be added at the intersection to slow turning movements and visually enhance the street.
- ❑ Provisions should be made for snow and ice removal.



### Advantages:

- ❑ Help identify neighborhood.
- ❑ Create added streetscape area for landscaping.
- ❑ Can discourage truck entry, depending on the extent of narrowing and inclusion of median islands at the intersection.
- ❑ Emphasize a change in environment from an arterial to a residential street.

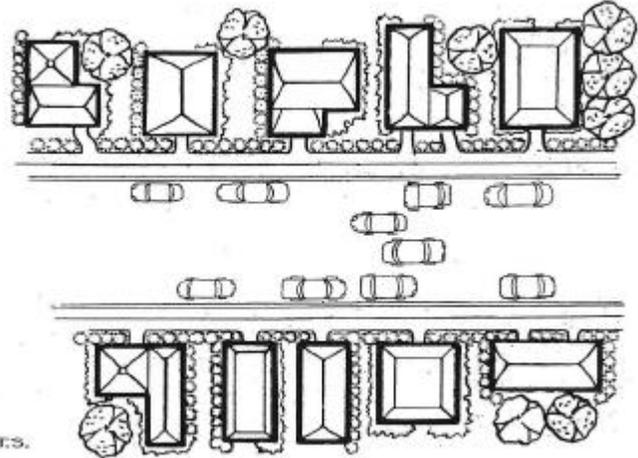
### Disadvantages:

- ❑ If textured pavements are used, some noise will result.

## ON-STREET PARKING

**Description:**

Parking on one or both sides of the roadway which has the effect of reducing the roadway width. By law, on-street parking is permitted unless otherwise prohibited.



**Appropriate Locations:**

- ❑ On-street parking may be appropriate for all classifications of streets.

**Typical Uses:**

- ❑ Reduce vehicle speeds by reducing the effective width of the roadway.

**Speed/Volume Reductions:**

- ❑ The most pronounced effect on speed occurs on narrow two-way streets with parking on both sides. If parking is sufficiently occupied, and street width is less than 30 feet, there is a “chicane” effect as vehicles may occasionally have to pull over to permit opposing vehicles to pass. Creating this chicane effect is appropriate only on local streets. Even for streets wider than 30 feet, on-street parking may serve to reduce speeds slightly by narrowing the effective roadway width.

**Approximate Cost:**

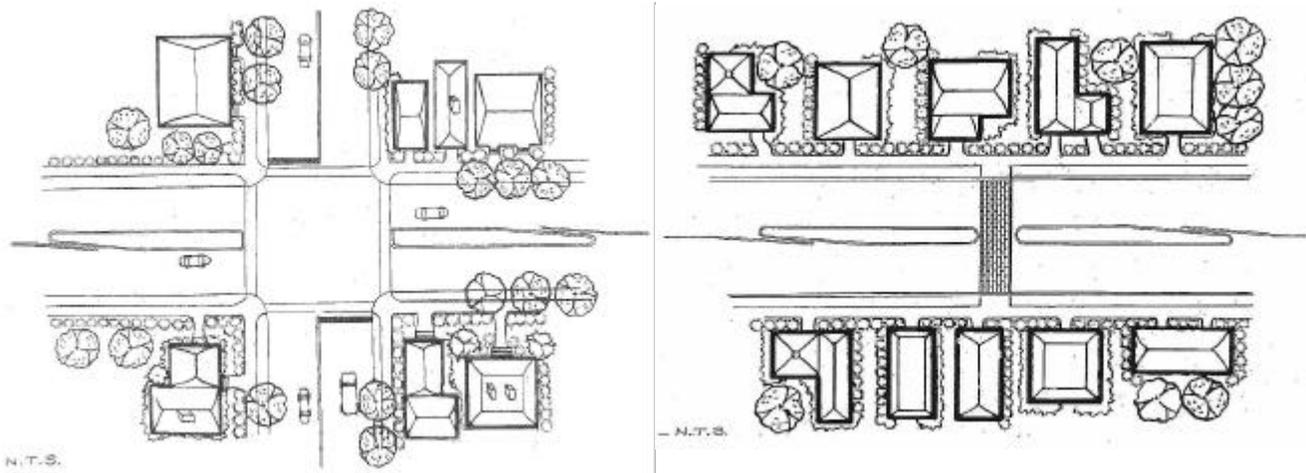
- ❑ If landscaped islands are created to protect parking, the cost can reach \$5,000 or more per island.

**Other Considerations:**

- ❑ On-street parking can be protected by a landscaped island that projects out from the curb.
- ❑ Angle parking has the potential to cause more crashes than parallel parking, and is generally not recommended to achieve speed reduction.
- ❑ If half or more of the block face is not parked out, on-street parking is not likely to result in reduced travel speeds.

<p><b>Advantages:</b></p> <ul style="list-style-type: none"> <li>❑ May reduce travel speeds, depending on extent of use of on-street parking.</li> <li>❑ Parked vehicles provide a buffer between traffic and pedestrians on sidewalks. This provides a comfort level for pedestrians that can be particularly important in downtown commercial areas.</li> </ul>	<p><b>Disadvantages:</b></p> <ul style="list-style-type: none"> <li>❑ On-street parking can reduce the visibility of pedestrians and vehicles to each other.</li> <li>❑ Increased risk of suddenly opened doors hitting cyclists where the adjacent travel lane is narrow.</li> </ul>
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## RAISED MEDIAN ISLANDS / PEDESTRIAN REFUGES



### Description:

Median islands are narrow islands between travel lanes that can be designed with breaks in landscaping and curbing for pedestrians.

### Appropriate Locations:

- ❑ Median islands may be appropriate for all classifications of streets: local, collector, and arterial.
- ❑ They may be used on high-volume roadways and roadways posted up to 40 mph, if they do not significantly narrow the travel lane.
- ❑ Either at mid-block locations or intersections.

### Typical Uses:

- ❑ Reduce the crossing distance for pedestrians by allowing them to cross half the street at a time.
- ❑ Prevent passing movements.

### Speed/Volume Reductions:

- ❑ Vehicle speeds may decrease, particularly if the median islands result in roadway narrowing.
- ❑ Reductions in speed may range from 1 to 5 mph, with reductions of 2 to 3 mph most prevalent.

### Approximate Cost:

- ❑ Approximate cost is \$5,000 to \$15,000 per island, depending on size, curbing, and landscape features.

### Other Considerations:

- ❑ The maximum length of median islands will be affected by driveway and intersection locations.
- ❑ Median islands should be 6 to 8 feet wide to comfortably accommodate pedestrians.
- ❑ Islands should be at least 12 feet, and preferably 20 feet, in length.
- ❑ Provisions should be made for snow and ice removal.

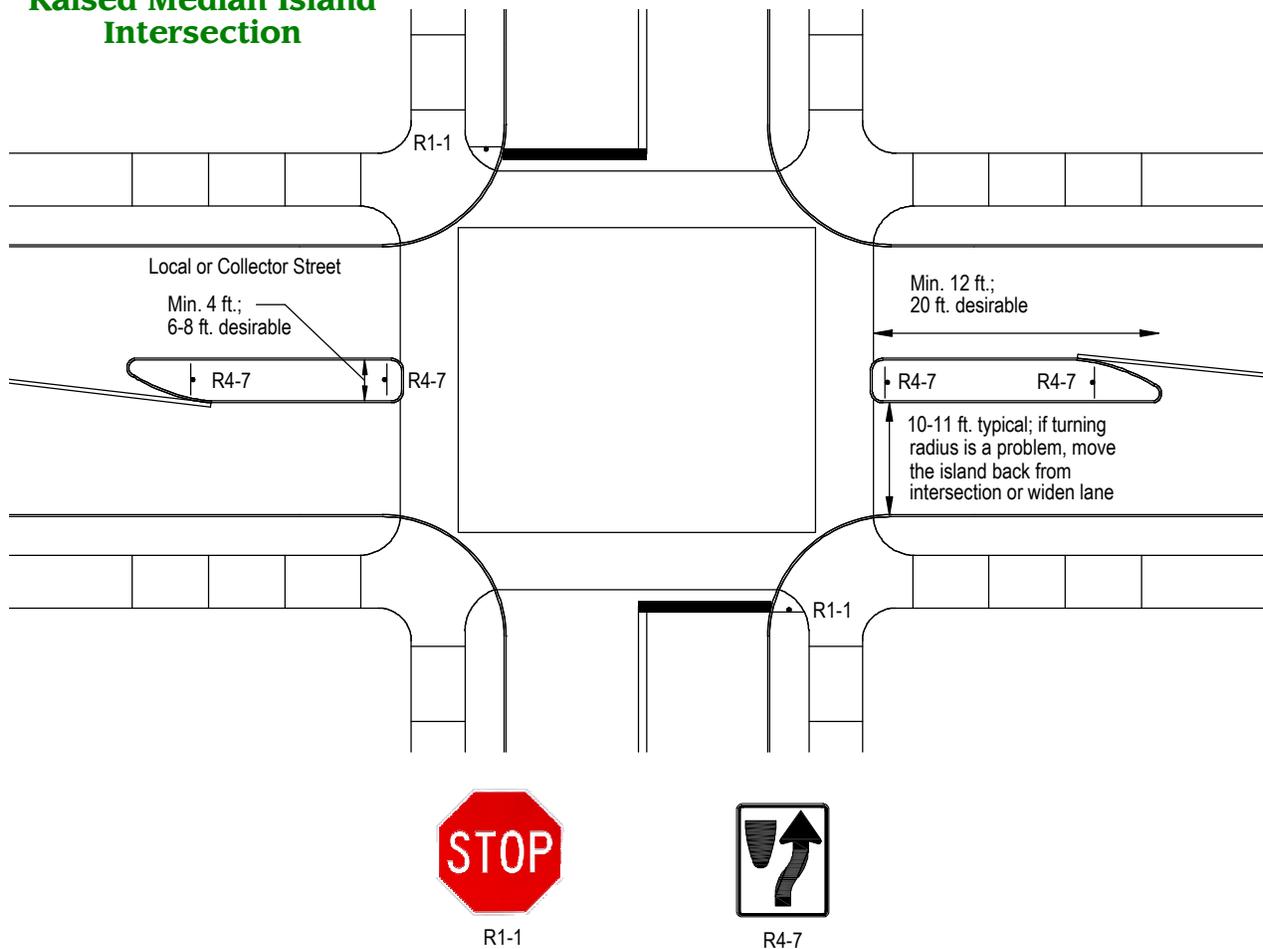
**Advantages:**

- ❑ Separate opposing vehicle travel lanes and prevent passing movements.
- ❑ Can be designed with breaks for pedestrian refuges and may reduce vehicle-pedestrian conflicts.
- ❑ Allow pedestrians to cross half of the street at a time.
- ❑ May visually enhance the street, if landscaped.
- ❑ Vehicle speeds may decrease.
- ❑ Can be used on curves to prevent vehicles from swinging wide at excessive speeds.

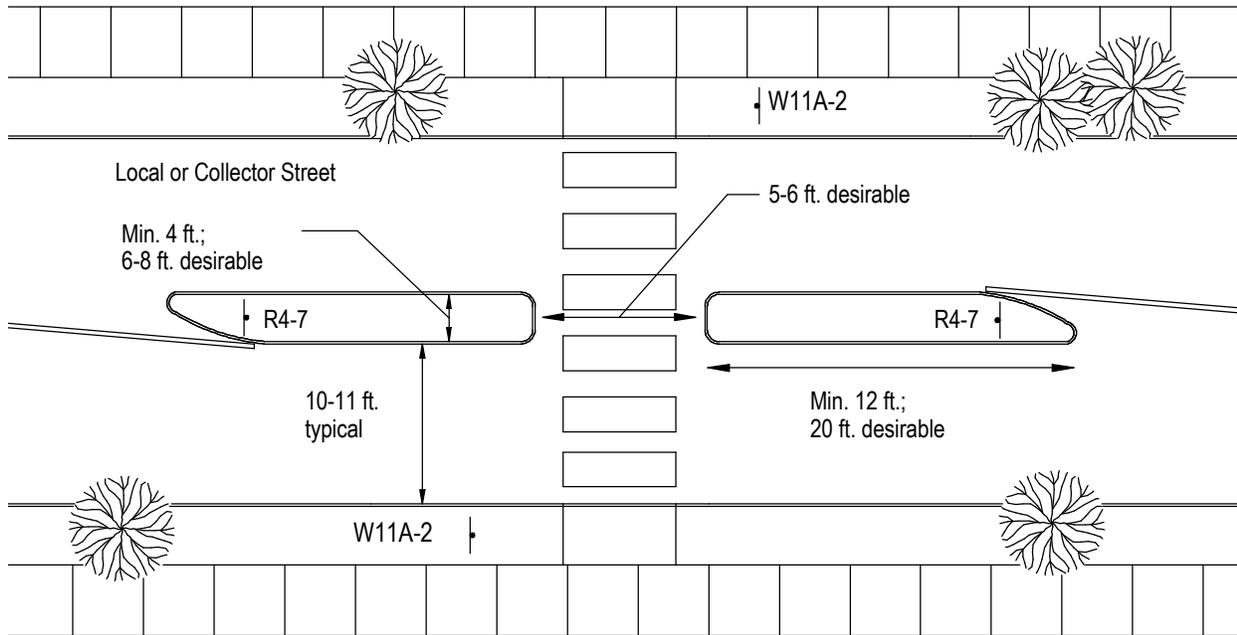
**Disadvantages:**

- ❑ May require removal of on-street parking to create room for median.
- ❑ May restrict access to driveways from one direction.

**Raised Median Island Intersection**



### Raised Median Island Mid-Block



R4-7



W11A-2

## TRAFFIC CIRCLES

### Description:

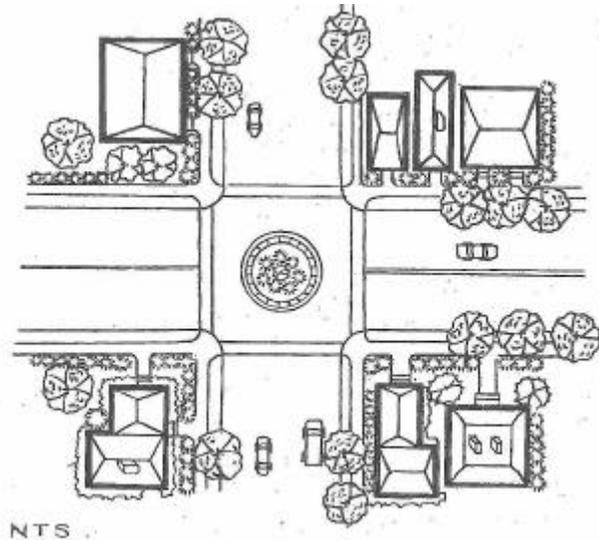
Traffic circles are raised islands located in the center of an unsignalized intersection. All traffic must negotiate the circle and circulate in a counterclockwise direction. When yield signs are used on each approach, traffic must yield to vehicles within the circle.

### Appropriate Locations:

- ❑ Traffic circles are appropriate at intersections of local streets without high pedestrian or left-turning volumes.
- ❑ The ADT volumes on each local street should not exceed 3,500.

### Typical Uses:

- ❑ Slows vehicles due to the horizontal deflection, and through their ability to break up line of sight (when appropriately landscaped).



### Speed/Volume Reductions:

- ❑ Circles are most effective in reducing speeds when several are used in a series.
- ❑ On average, speeds are reduced from 4 to 6 mph in the vicinity of circles.
- ❑ Circles normally have only a slight effect on reducing volumes, although some jurisdictions report reductions of 10 to 20 percent.

### Approximate Cost:

- ❑ Traffic circles that fit within existing curbs, gutters, and drains, and have no irrigation for landscaping, cost \$3,000 to \$8,000. Costs will increase if right-of-way needs to be acquired or utilities need to be relocated. More complicated installations may cost \$20,000+.
- ❑ Landscaping costs have the potential to add significantly to the ongoing maintenance costs. Landscaping maintenance can often be delegated to the neighborhood association or to residents who have been supportive of the installation.

### Other Considerations:

- ❑ Depending on the intersection configuration, the shape of the traffic circle may not actually be round.
- ❑ Turning analysis should be completed to ensure that the design vehicle can negotiate the circle. A mountable concrete apron, 2 to 4 feet wide, may be used to accommodate emergency service vehicles, trucks, and buses.
- ❑ Drainage works best if the cross-section slopes away from the circle, despite the fact that this creates a reverse superelevation.
- ❑ It may be necessary to move crosswalks further away from the traffic circle to prevent vehicles from encroaching on the crosswalk.
- ❑ Traffic circles may require additional street lighting.
- ❑ Provisions should be made for snow and ice removal.

**Signing and Markings:**

- ❑ The use of the “Advance Traffic Circle Warning Sign” (W6-4) with an appropriate “Advisory Speed Sign” (W13-1) is recommended in advance of the first traffic circle encountered on each street.
- ❑ Delineation and the appropriate “Traffic Circle Sign” (R22-1) should be installed on each face of the circle.



W6-4

(Source: City of Portland, Oregon)



R22-1

(Source: City of Portland, Oregon)

- ❑ At very large circles, it may be helpful to have a directional splitter island on each approach with a “Keep Right” sign (R4-7) or (R4-7-B).



R4-7



R4-7-B

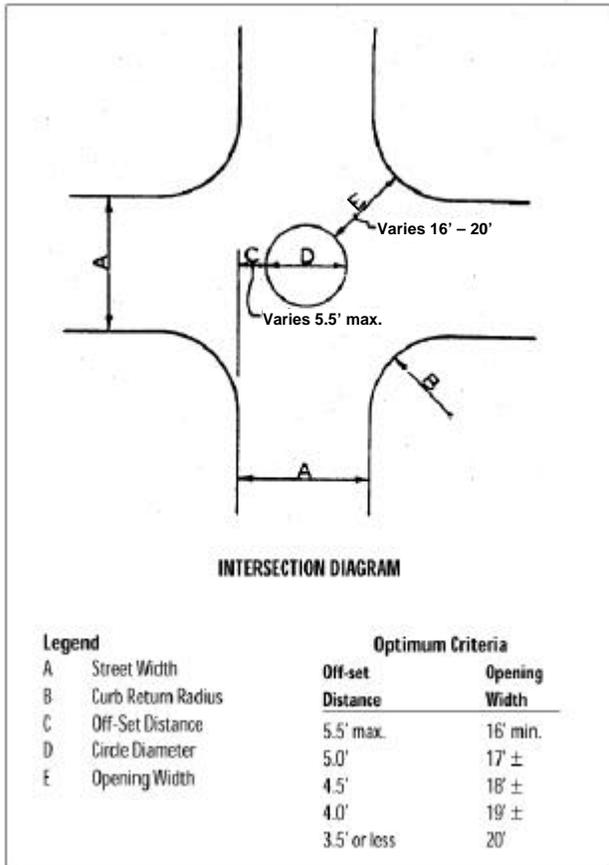
**Advantages:**

- ❑ Reduce speeds.
- ❑ Can significantly reduce motor vehicle collisions, particularly right-angle conflicts.
- ❑ Reduces the number of potential conflict points at an intersection.
- ❑ Enhances neighborhood appearance when properly landscaped.
- ❑ The Insurance Corporation of British Columbia, summarizing 43 international studies, reported that circles reduce collisions by 82 percent.

**Disadvantages:**

- ❑ May make it difficult for emergency vehicles, buses, and trucks to turn left.
- ❑ May be inappropriate on major emergency response routes. Emergency service vehicles are delayed from 1 to 11 seconds per circle, with most delays falling around 5 to 8 seconds.
- ❑ May require removal of some on-street parking. The prohibition of parking for 30 feet from the intersection is recommended.

The following traffic circle design drawings, from the City of Seattle's Neighborhood Traffic Calming Program, are provided as a reference. They relate the critical dimensions that should be considered when designing an effective traffic circle.



(Source: City of Seattle, Washington)

Street Width (feet)	Corner Radius (feet)	Circle Diameter (feet)
24	<12	Reconstruct curbs
	12	13
	15	14
	20	15
	25	17
30	10	19
	12	20
	15	20
	20	22
	25	24
36	10	26
	12	26
	15	27
	18	28
	20	29
	25	33

(Source: City of Seattle, Washington)

## ROUNDBABOUTS

### Description:

Roundabouts are measures similar to traffic circles, but they must have all of the following characteristics:

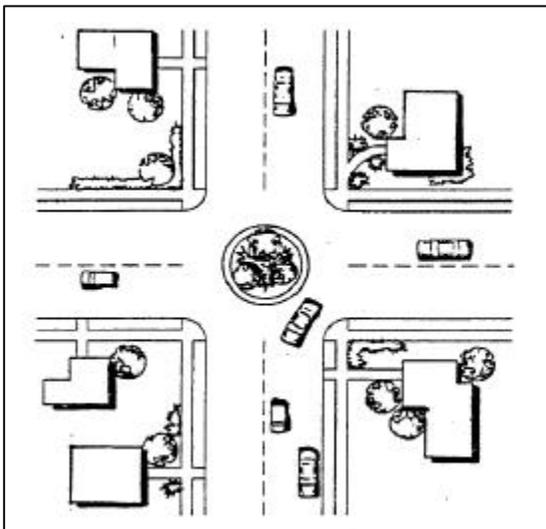
- ❑ Yield control is used on all entries and the circulatory roadway has no control.
- ❑ Circulating vehicles have the right-of-way.
- ❑ Pedestrian access is allowed only across the legs of the roundabout, behind the yield line.
- ❑ No parking is allowed within the circulatory roadway or at the entries.
- ❑ All vehicles circulate counter-clockwise and pass to the right of the central island.

If any of the roundabout characteristics are not met, the circular intersection is considered a traffic circle.

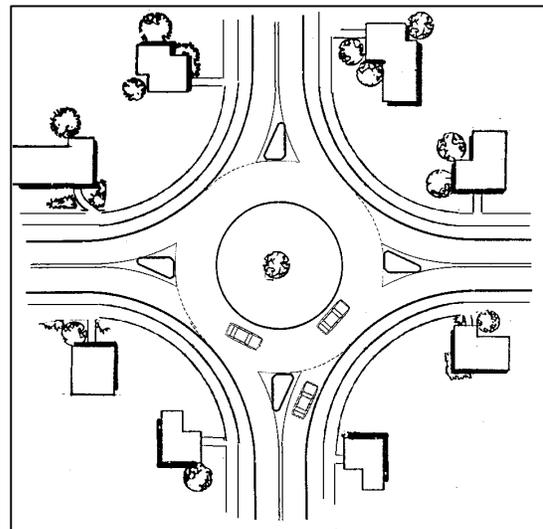
In the near future, PennDOT will be developing standards for roundabouts. Additional information concerning the use of roundabouts can also be found in the Federal Highway Administration (FHWA) publication "Roundabouts: An Informational Guide" (FHWA-RD-00-067).

The following pictures depict the differences between a traffic circle and a roundabout.

**Traffic Circle**



**Roundabout**



## TEXTURED CROSSWALKS

**Description:**

Textured crosswalks are the use of pavers, imprinted concrete/asphalt, or other materials to demarcate crosswalks and alert motorists that they are entering a pedestrian-friendly area.

**Appropriate Locations:**

- ❑ Because of their limited impact, they may be appropriate for all road classifications.
- ❑ They may be used on streets posted up to 45 mph.

**Typical Uses:**

- ❑ Textured crosswalks are often used in combination with raised crosswalks, raised intersections, or curb extensions.

**Speed/Volume Reductions:**

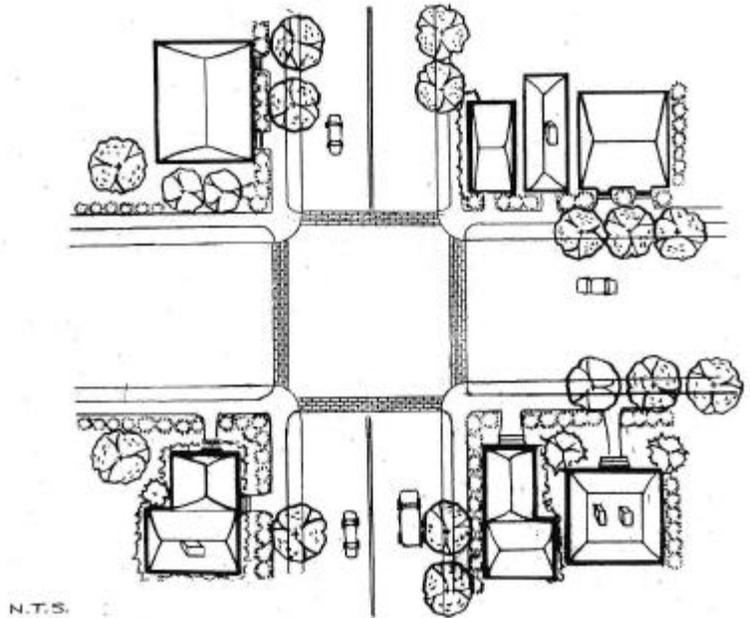
- ❑ By themselves, they have little or no effect in reducing vehicle speeds or volumes.

**Approximate Cost:**

- ❑ \$50 to \$150 per square yard.

**Other Considerations:**

- ❑ Textured crosswalks are generally flush with the surrounding street. Jurisdictions that have used slightly raised surfaces — ½ to ¾ inch above street level — have seen no added benefit in reducing vehicle speeds.



**Advantages:**

- ❑ Improved street appearance. In particular, it may enhance other traffic calming measures.
- ❑ When used in combination with other measures, they alert motorists to the possible presence of pedestrians.

**Disadvantages:**

- ❑ Virtually no effect on reducing traffic speeds or volumes.
- ❑ Extra noise may be produced from vehicles passing over the textured surface.
- ❑ Heavily textured surface may present a traction problem for bicyclists, wheelchairs, or disabled persons.

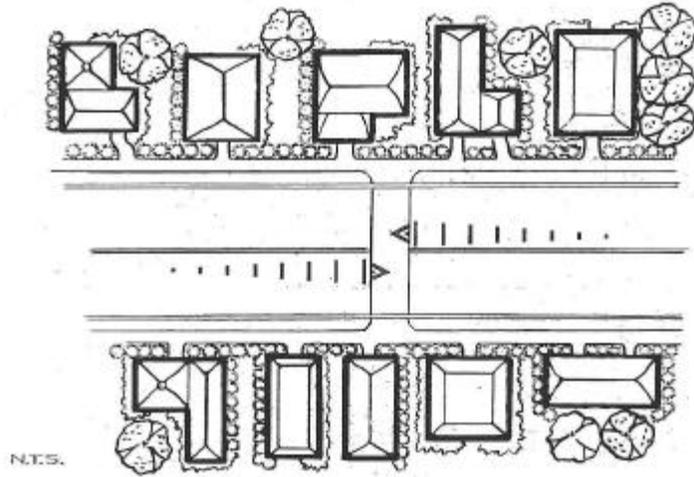
## SPEED HUMPS

### Description:

A speed hump is a raised surface on the roadway that is typically 3 to 4 inches in height, and 12 to 20 feet in length. Speed humps are by far the most popular traffic calming measure in the United States, likely because they are effective in reducing speeds at minimal cost.

### Common Designs:

- ❑ The Watts speed hump (designed by the Transport and Road Research Laboratory in Great Britain) is a parabolic hump 12 feet in length. This model was endorsed by ITE in *Guidelines for the Design and Application of Speed Humps*, June 1997.
- ❑ The Seminole County speed hump is the most popular alternative to the Watts hump. Designed by Seminole County, Florida, this hump is 22 feet in length with 6-foot ramps on either end of a 10-foot flat top. This type of speed hump design is also referred to as a “speed table”.



### Appropriate Locations:

- ❑ Both humps are appropriate for use on Pennsylvania roads. However, due to their different profiles, they are effectively employed in different settings.
- ❑ The Watts hump is recommended only for local streets with volumes less than 3,500 ADT and posted speeds of 30 mph or less. In addition, it is not recommended for major emergency service routes.
- ❑ The Seminole County hump can be used in a greater variety of situations. This type of hump can be used on collector roads as well as local roads. It is appropriate for streets with volumes up to 6,500 ADT. Many jurisdictions also permit the use of Seminole speed humps on emergency response routes.
- ❑ Primarily used at mid-block locations.
- ❑ Similar designs can be used as raised pedestrian crosswalks.

### Typical Uses:

- ❑ Within typical residential travel speeds, humps create a gentle rocking motion encouraging motorists to slow to a safe speed at or below the speed limit.

### Speed/Volume Reductions:

- ❑ The design speed is determined by the dimensions of the speed hump.
- ❑ The Watts hump is designed to slow vehicles to 15 to 20 mph at each hump and 25 to 30 mph in between properly spaced humps (see “Other Considerations”). Numerous studies have demonstrated that Watts humps can reduce speeds by about 8 mph in the vicinity of humps. Volumes are reduced, on the average, by about 18 percent.
- ❑ Because of its gentler profile, the Seminole County hump has a design speed of 25 to 30 mph at the hump, and approximately 35 mph in between humps. It has been shown to reduce speeds by about 6.5 mph, and volumes by 12 percent. Some jurisdictions have found that speed of motorists at the hump and in-between the humps are not significantly different.

**Approximate Cost:**

- Each speed hump installation costs about \$1,500 to \$3,500, depending on roadway width.

**Other Speed Hump Designs:**

- The Gwinnett County speed hump, like the Seminole County hump, is 22 feet in length with 6-foot ramps and a 10-foot plateau. However, the ramps of the Gwinnett speed hump are straight, not parabolic. This type of hump can be used in situations similar to the Seminole County hump.
- The 14-foot speed hump was developed by Portland, Oregon after it concluded that the 12-foot hump was too abrupt. Its effect on speeds and volumes is similar to the Watts hump and is also designed for use only on local streets.
- The Split speed hump, also designed by Portland, Oregon, is used for the benefit of emergency vehicles. Two 22-foot speed humps on opposing sides of the roadway are placed at least 50 feet apart. Small concrete medians are placed 10 to 15 feet in advance of each “hump half.” Pavement striping and raised markings give the illusion that the median continues through. Emergency vehicles can avoid the speed hump by following a chicane pattern around the humps.



**Split Speed Hump**

Source: City of Portland, Oregon

**Signing and Markings:**

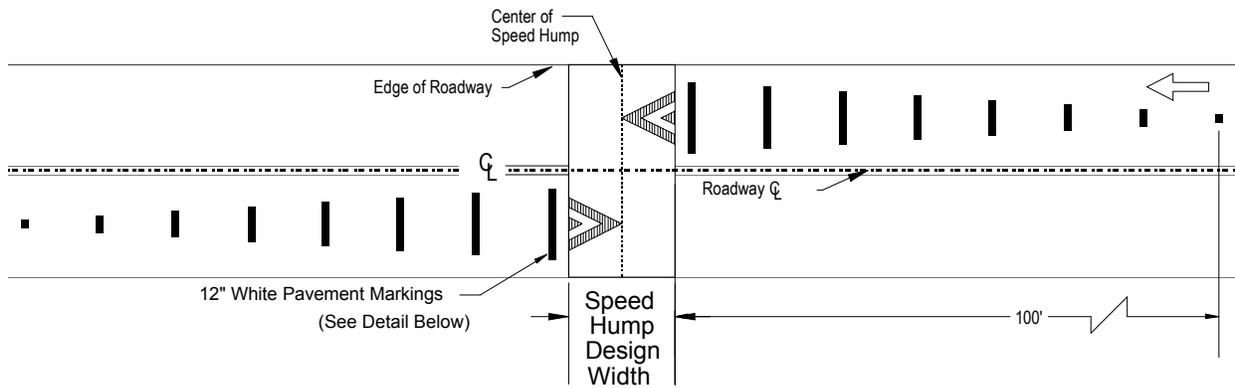
- A Speed Hump Warning Sign (MUTCD W16-1) has been proposed for adoption in the Manual on Uniform Traffic Control Devices. This sign has also been included in PennDOT’s Publication 236M (W8-17). It is recommended that this sign be installed either 100 feet in advance of speed humps, at the hump, or in both locations. Where multiple humps exist on one street, one sign before the first hump encountered, labeled “SPEED HUMPS,” may be sufficient. It is also recommended that the “Speed Hump” sign be accompanied by an “Advisory Speed Plaque” (W13-1). The indicated speed depends upon the design of the individual speed hump.
- The pavement marking designs on the following pages have also been proposed for adoption in the Manual on Uniform Traffic Control Devices. It is recommended that one of these sets of markings be used with speed hump designs.



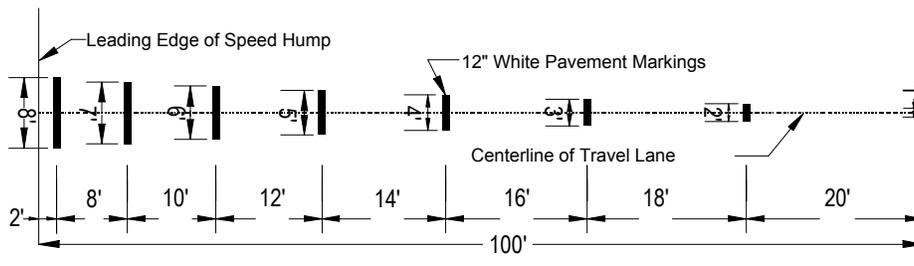
W8-17

W13-1

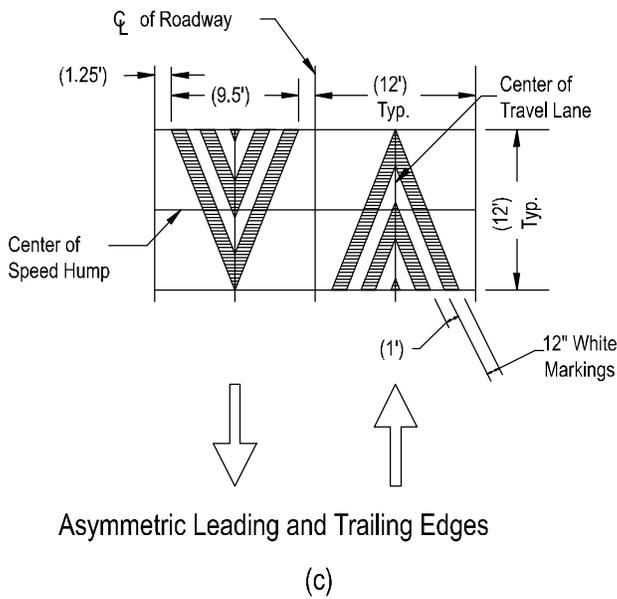
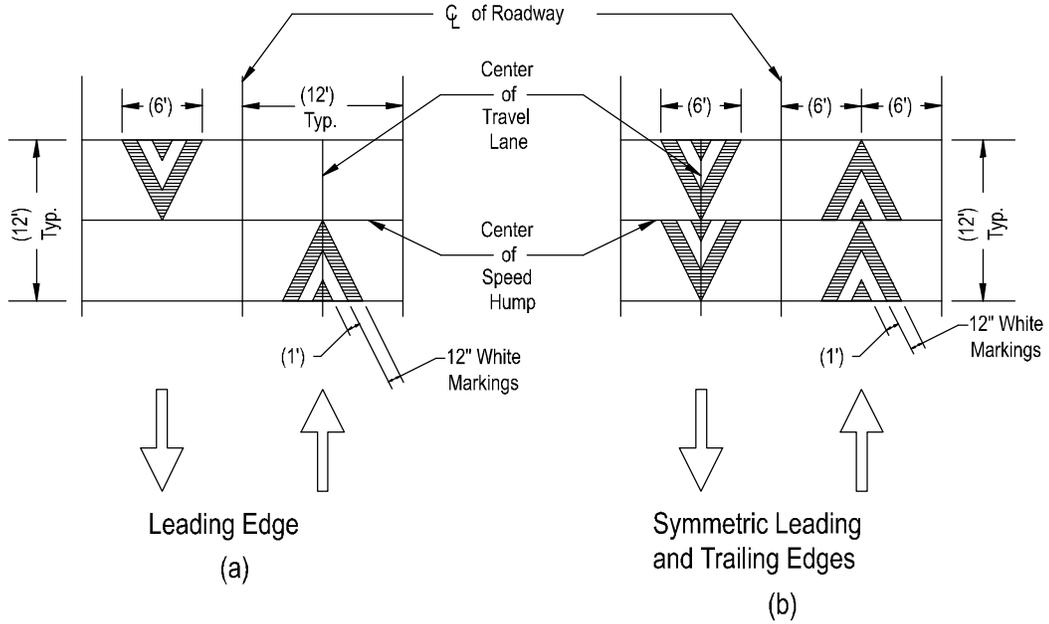
### Advance Warning Markings For Speed Humps



### Detail – Speed Hump Advance Warning Markings

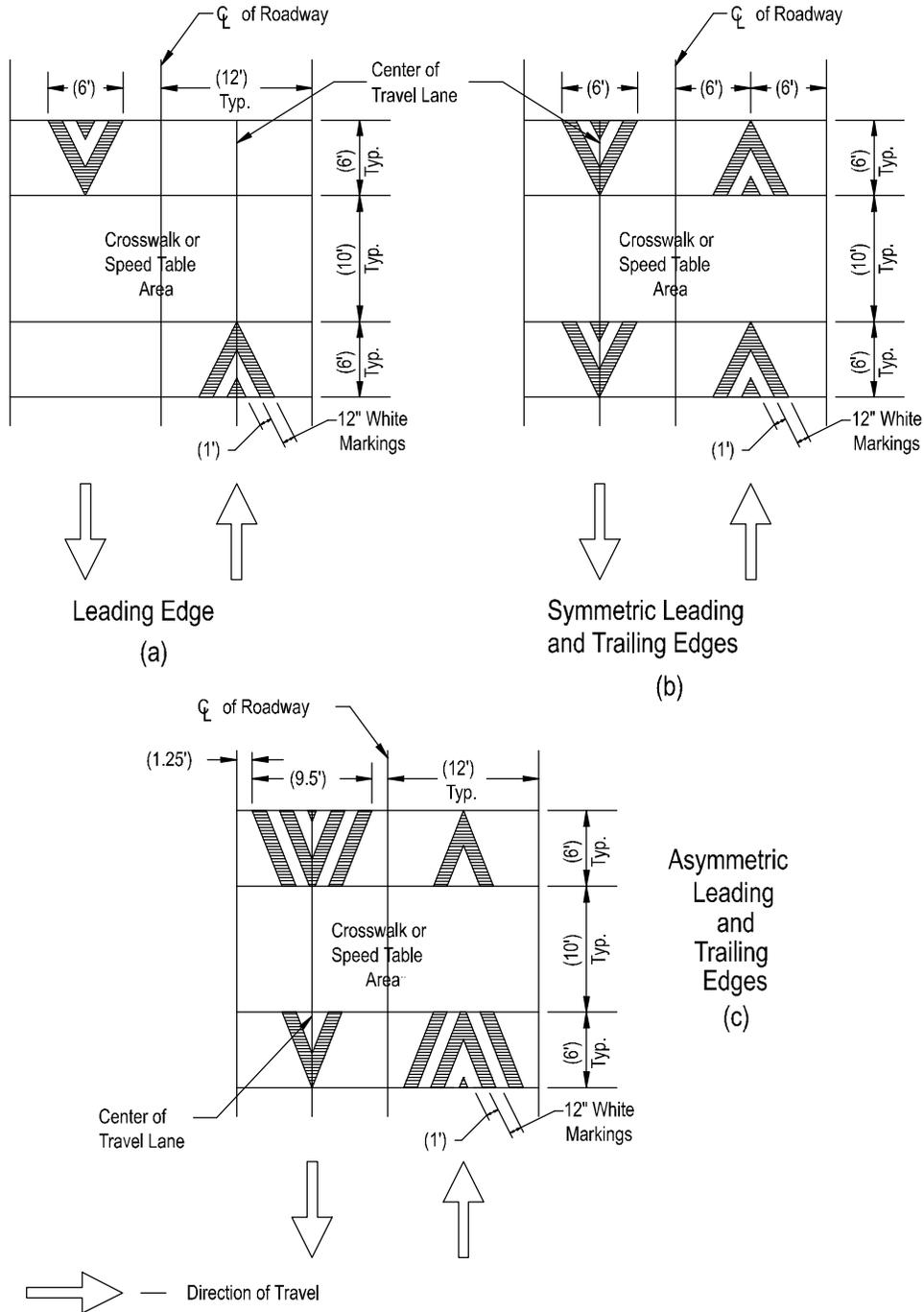


**Pavement Markings for Speed Humps**



→ Direction of Travel

### Pavement Markings for Speed Humps with Crosswalks or Tables



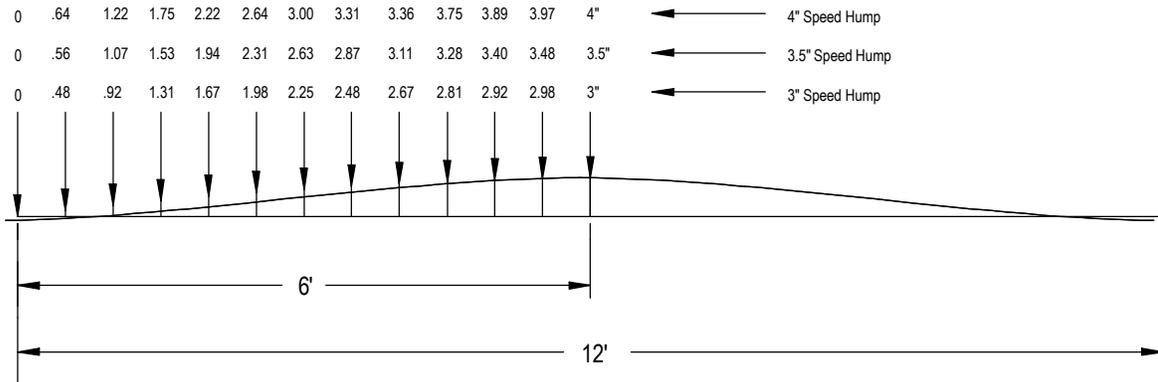
**Other Considerations:**

- ❑ Humps should be placed 250 to 600 feet apart. One study showed that placing Watts speed humps at intervals of 275 feet resulted in 85<sup>th</sup> percentile speeds of 25 mph; intervals of 550 feet resulted in 85<sup>th</sup> percentile speeds of 30 mph.
- ❑ Normally, no hump should be placed within 150 feet of an unsignalized intersection or 250 feet of a signalized intersection.
- ❑ Speed humps should not be used on curves unless the radius is greater than 300 feet.
- ❑ Humps should not be installed on streets with a grade exceeding 8%.
- ❑ Humps should not be installed on streets without curbing unless obstructions such as signing, flexible delineator posts, or bollards prevent drivers from driving around the hump. Rocks, boulders, and other objects of this nature should not be used for this application.
- ❑ Ideally, speed humps should extend across the roadway from curb to curb. This design is generally preferred by bicyclists, and it prevents motorists from driving with one wheel in the gutter (this may happen with tapered edges). If drainage cannot be accommodated under curb-to-curb conditions, it is recommended that humps end before bike lanes or continue across the bike lane without tapering off.
- ❑ Watts humps delay emergency vehicles anywhere from 1 to 10 seconds, with most delays in the range of 3 to 7 seconds.
- ❑ Seminole County humps appear to reduce the delay for most types of emergency vehicles by approximately 1 second. Emergency service companies greatly prefer Seminole County humps to Watts humps both because they reduce delay, and because they are less jarring to the long, stiff-bodied emergency service vehicles.
- ❑ Humps usually have a parabolic cross section. A sinusoidal cross section is harder to construct but may better facilitate snow removal.
- ❑ Although speed humps may create noise from vehicles passing over them, the overall noise levels on the street may be reduced due to lower vehicle speeds.
- ❑ Traffic may divert to other parallel streets that are not traffic calmed.
- ❑ In areas with snow removal problems, a measure such as a flexible delineator post may be needed at each hump to alert snowplow operators to lift their blades.

**Speed humps should be distinguished from speed *bumps*, which may be encountered in parking lots. Speed bumps are usually about 3 to 6 inches in height, 1 to 3 feet in length, and force traffic to slow to 5 to 10 miles per hour. Speed bumps may generate severe vertical displacement at low speeds and are not to be used as traffic calming measures.**

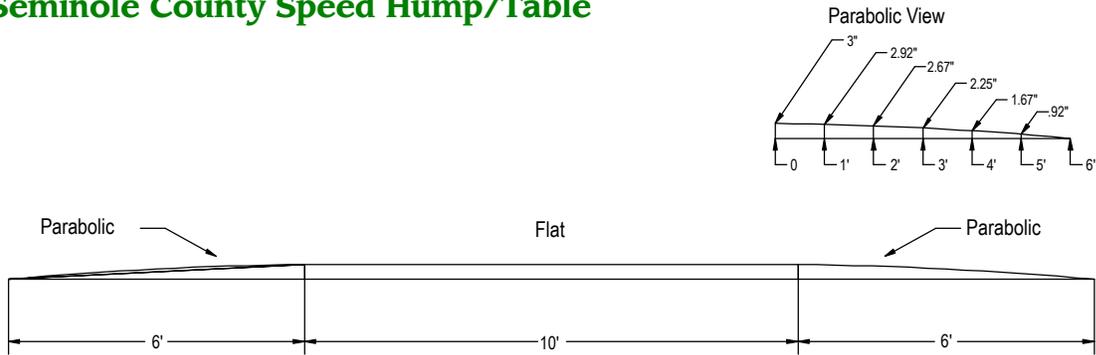
<p><b>Advantages:</b></p> <ul style="list-style-type: none"> <li>❑ Can be very effective in slowing traffic on residential streets.</li> <li>❑ Relatively inexpensive to install and maintain.</li> <li>❑ Can reduce motor vehicle conflicts.</li> <li>❑ Should not pose problems for bicyclists or motorcyclists, except at high speeds.</li> </ul>	<p><b>Disadvantages:</b></p> <ul style="list-style-type: none"> <li>❑ Watts speed humps are inappropriate for emergency response routes.</li> <li>❑ Seminole County humps may be considered for emergency routes, but only after close coordination with emergency service providers.</li> <li>❑ Should be avoided on major transit routes.</li> <li>❑ Snow removal personnel may require special training in speed hump areas. However, speed humps have been used successfully in many jurisdictions with heavy snowfalls.</li> <li>❑ Drainage could be a concern.</li> </ul>
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### Watts (TRRL Profile) Speed Hump



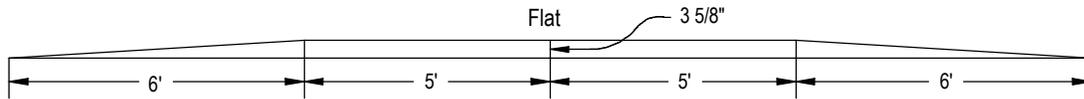
Source: ITE, Guidelines for the Design and Application of Speed Humps

### Seminole County Speed Hump/Table

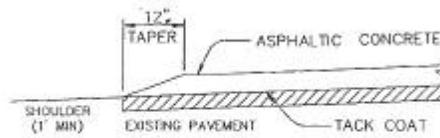
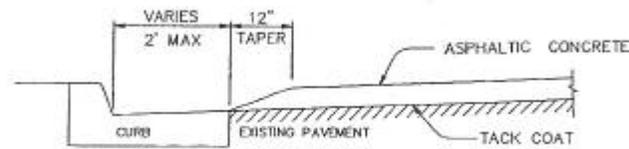


Source: Seminole County, Florida

### Gwinnett County Speed Hump/Table



### Gwinnett County Speed Hump/Table Shoulder Detail



Shoulder Detail For Streets  
Without Curbs

Source: Gwinnett County, Georgia

## RAISED CROSSWALKS

### Description:

Raised crosswalks are marked and elevated pedestrian areas that are an extension of the sidewalk at mid-block locations or intersections. Raised crosswalks are typically 3 to 6 inches above street level. In many jurisdictions, raised crosswalks are level with the curb, about 6 inches above the street. They often have the same profile as the Seminole County speed hump.

### Appropriate Locations:

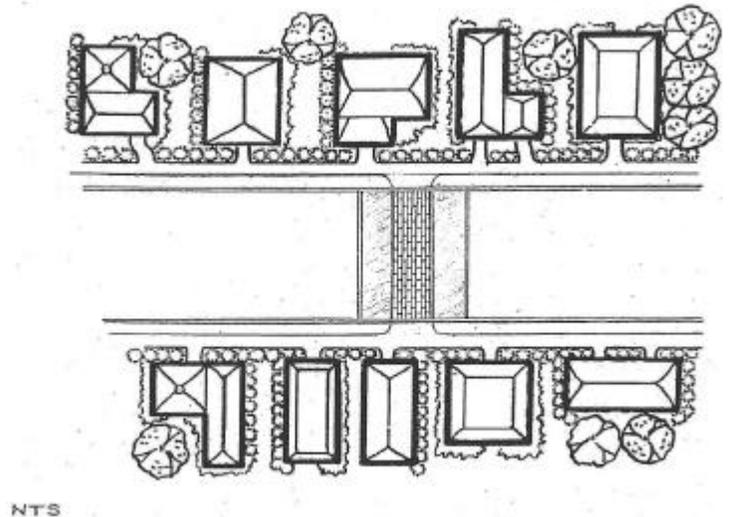
- They are appropriate on local streets and minor collectors, with volumes less than 10,000 vehicles per day.

### Typical Uses:

- Reduce speeds and improve visibility of the pedestrians by defining crossings.

### Speed/Volume Reductions:

- Raised crosswalks reduce speeds an average of 6 mph.
- Volumes are reduced an average of 12%.
- Due to their long flat tops and gently sloped ramps, raised crosswalks actually slow vehicles less than the Watts speed humps (12 feet in length; 3 inches in height) despite being as much as three inches higher.



### Approximate Cost:

- Cost of a raised crosswalk is approximately \$2,000 to \$10,000 each. If drainage is an issue, costs could increase considerably.

### Signing and Markings:

- It is recommended that the "Raised Pedestrian Crossing Warning Sign" (W11A-3) be used with each raised pedestrian crossing.

### Other Considerations:

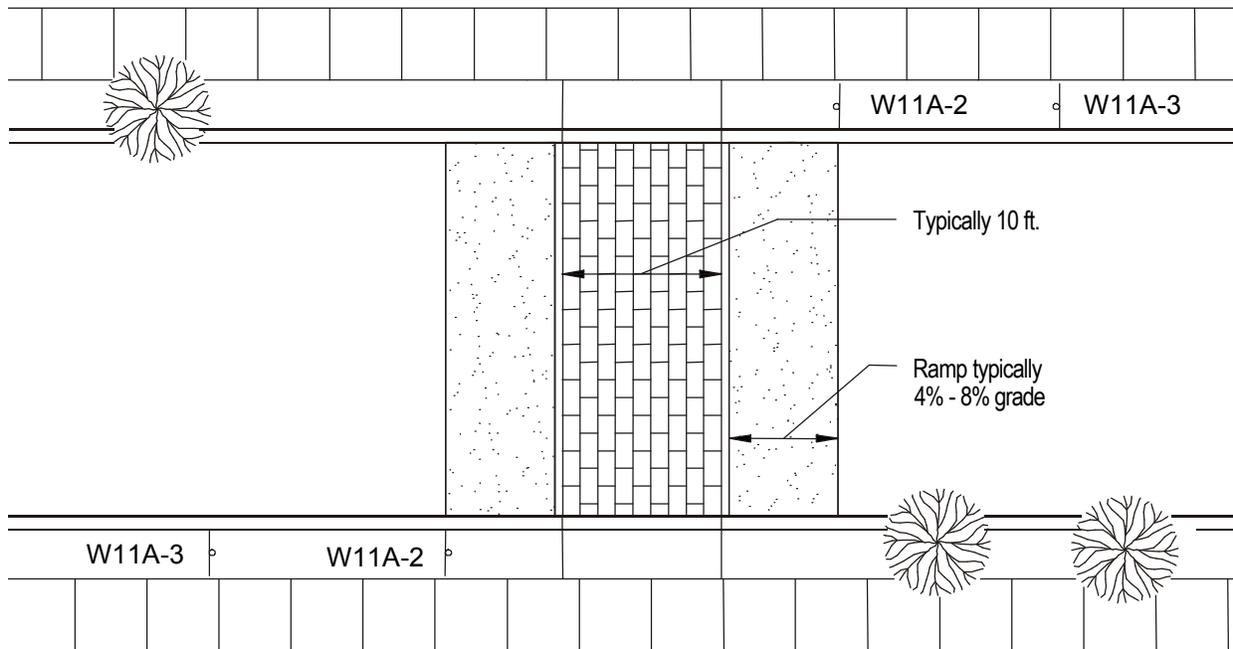
- If the raised pedestrian crossing is the same height as the curb, the edge of the raised crosswalk should be differentiated with a tactile measure to warn visually impaired people.
- Most appropriately used at areas with significant pedestrian crossing activity.
- Effectiveness of the measure is increased when used with textured crosswalks or curb extensions.
- Primary emergency access routes should be avoided, unless acceptable to emergency service providers.
- A catch basin should be installed for drainage on the uphill side of the raised crosswalk.
- All ADA requirements must be met.
- In areas with snow removal problems, a measure such as a flexible delineator post may be needed at each hump to alert snowplow operators to lift their blades.



<p><b>Advantages:</b></p> <ul style="list-style-type: none"> <li>❑ Reduce speeds.</li> <li>❑ Improves visibility for pedestrians.</li> <li>❑ Improves the visibility of pedestrians.</li> <li>❑ May reduce volumes.</li> </ul>	<p><b>Disadvantages:</b></p> <ul style="list-style-type: none"> <li>❑ Slows emergency vehicles by 4 to 6 seconds, on average.</li> <li>❑ May generate noise and additional emissions from vehicle deceleration and acceleration.</li> <li>❑ Require more maintenance than traditional crosswalks.</li> <li>❑ Icing can be a problem if snow is not properly removed.</li> </ul>
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### Raised Crosswalk

For typical profile, see drawings of Seminole County speed table or the Gwinnett County speed table in the "Speed Humps" section.



W11A-2



W11A-3

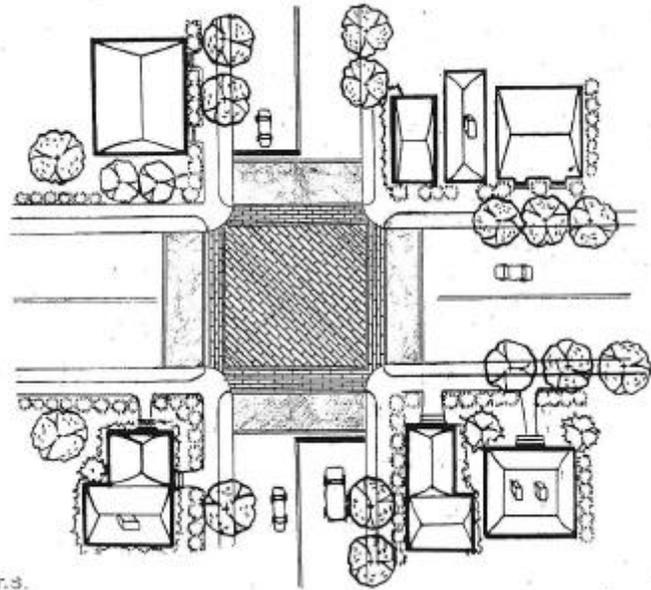
## RAISED INTERSECTIONS

### Description:

Intersections, including crosswalks, which are raised 3 to 6 inches above street level. Long ramps are included on all approaches.

### Appropriate Locations:

- ❑ Commonly found in commercial areas and business districts with high pedestrian activity.
- ❑ Sometimes used in redevelopment areas with an emphasis on neo-traditional design.
- ❑ They are appropriate on local streets and collectors.
- ❑ They are generally not recommended for arterials. However, they may be used very selectively on arterial streets in downtown commercial areas as part of a redevelopment effort where there is support for encouraging pedestrian activity. If used in this manner, coordination with emergency services will be important.
- ❑ They are appropriate on streets with volumes up to 10,000 ADT.



### Typical Uses:

- ❑ Reduce vehicle speeds on all approaches.
- ❑ Decrease conflicts between vehicles and pedestrians by better demarcating crossing areas and elevating pedestrians above the street.

### Speed/Volume Reductions:

- ❑ Because of their long flat top, and their gently sloped ramps, raised intersections may have only a minor effect on vehicle speeds.

### Approximate Cost:

- ❑ Cost of a raised intersection typically ranges from around \$15,000 to \$60,000, but can be more, depending on the width of intersecting roadways and drainage requirements.

### Signing and Markings:

- ❑ Advance warning signs should be posted but there is no standard sign for raised intersections, either in the MUTCD or in jurisdictions across the country. The "Raised Pedestrian Crossing" sign (W11A-3) is the recommended warning sign for use with raised intersections in Pennsylvania.

### Other Considerations:

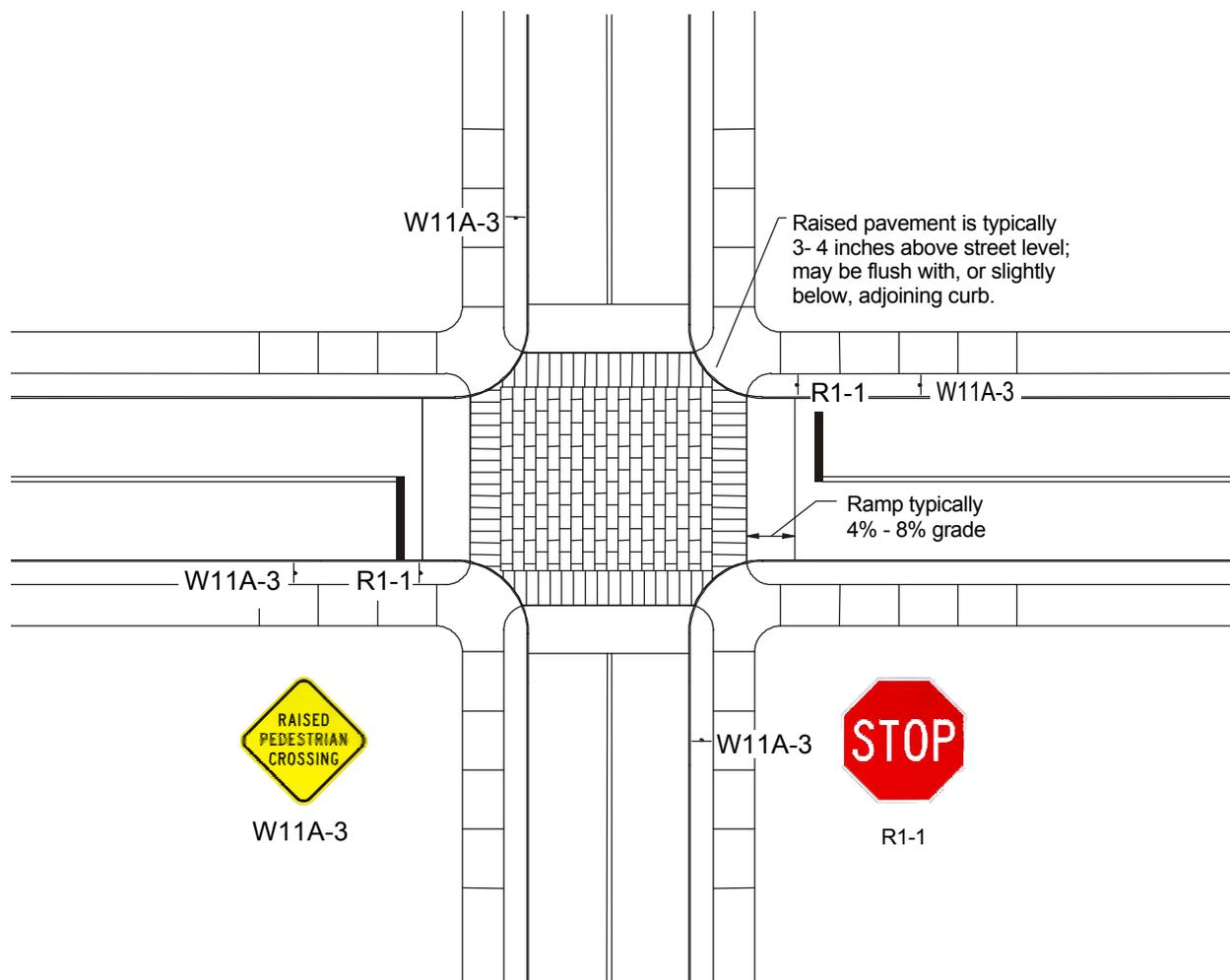
- ❑ If raised intersections are the same height as the surrounding curb, a slight lip or other tactile measure should be used as a warning to visually impaired people.
- ❑ Textured pavement treatments and curb extensions are often used in conjunction with raised intersections.
- ❑ In areas with snow removal problems, a measure such as a flexible delineator post may be needed at each hump to alert snowplow operators to lift their blades.

**Advantages:**

- ❑ Reduce vehicle-pedestrian conflicts by providing better visibility for pedestrians.
- ❑ If pavement treatments and bulb-outs with landscaping are incorporated, the visual environment will be enhanced.
- ❑ Minor reduction of travel speeds.

**Disadvantages:**

- ❑ Expensive to construct and maintain.
- ❑ Result in an average delay of 4 to 6 seconds for emergency vehicles.



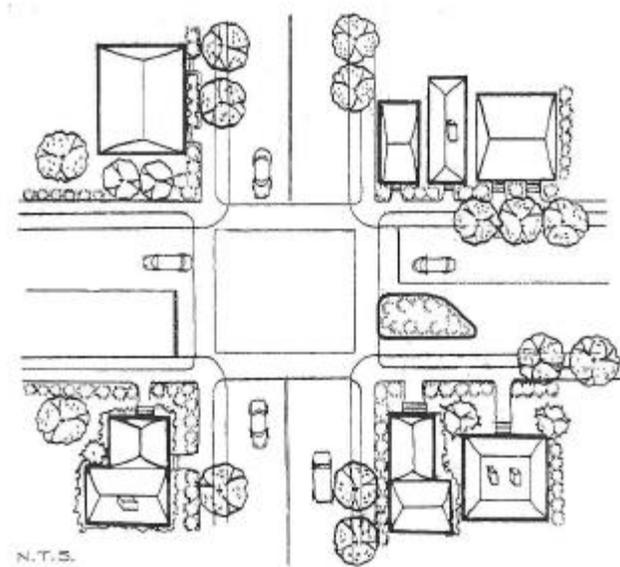
## SEMI-DIVERTERS

### Description:

Sometimes referred to as half closures or partial diverters, semi-diverters prevent travel in one direction on a street by blocking half the street with a physical barrier. Semi-diverters, normally 16 to 23 feet in length, create a one-way roadway at the point of construction while two-way traffic is maintained on the remaining portions of the roadway.

### Appropriate Locations:

- ❑ Semi-diverters are appropriate only on local streets
- ❑ Semi-diverters should be used only at local road intersections with collector or arterial streets, since those roadways can best accommodate the diverted traffic.
- ❑ They should be used only on streets with a documented cut-through problem.
- ❑ They may be used on streets with volumes up to 3,500 ADT.



### Typical Uses:

- ❑ By eliminating movements, semi-diverters serve to reduce through traffic.

### Speed/Volume Reductions:

- ❑ Semi-diverters may normally be expected to reduce traffic volumes by at least 40 percent. However, volume reductions up to 60 percent are common.
- ❑ Speeds may be reduced between 2 to 5 mph.

### Approximate Cost:

- ❑ Cost of a permanent measure ranges from \$3,000 (asphalt, pre-cast curb bulb with no drainage modifications) to \$20,000 (measure fully integrated into streetscape with poured-in-place concrete bulb-outs, sidewalks extended, landscaping and drainage modifications).
- ❑ Temporary measures typically cost under \$1,000.

### Signing and Markings:

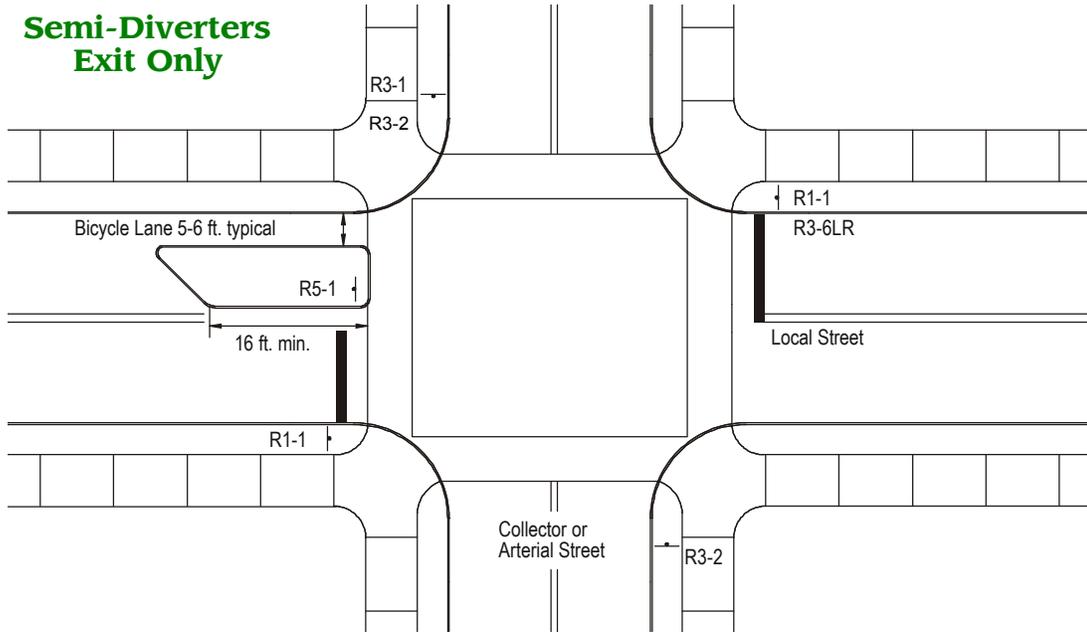
- ❑ Signs, delineation, painted curbs, etc., should be incorporated to enhance visibility.

**Other Considerations:**

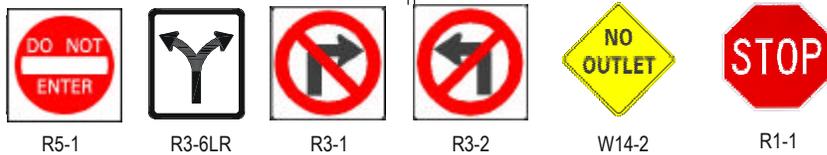
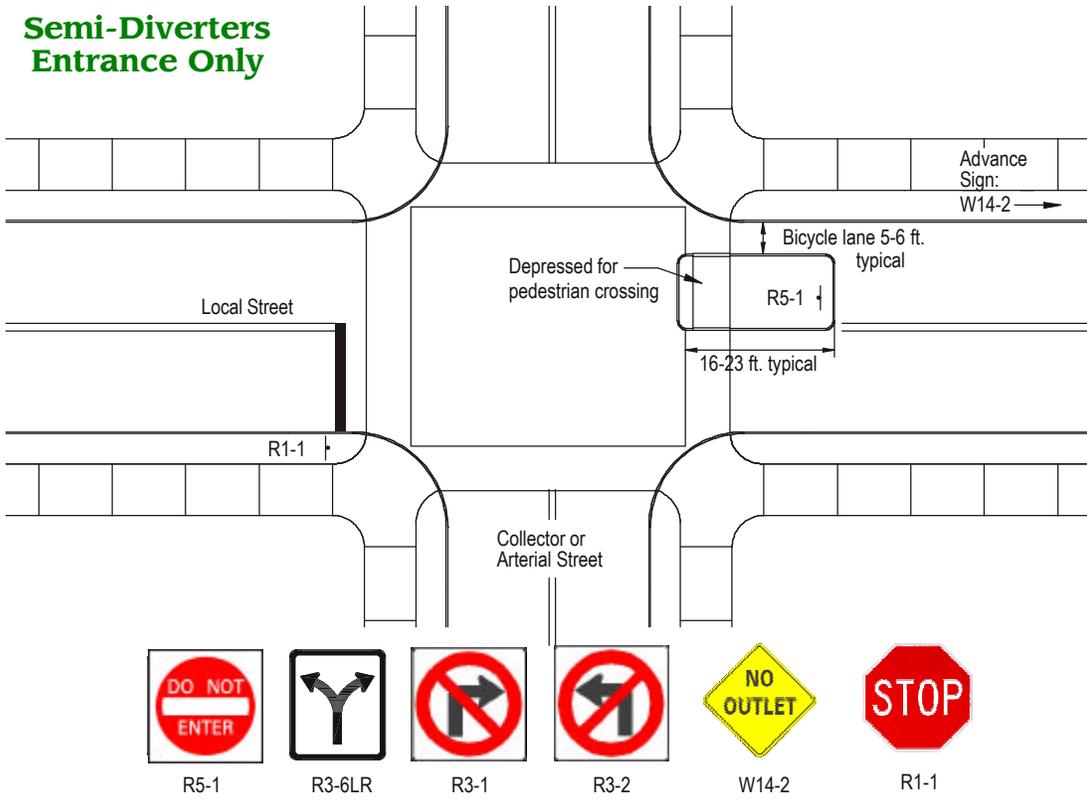
- ❑ Traffic barricades can be used to test the effectiveness of a temporary installation.
- ❑ On a permanent basis, semi-diverters can be constructed with curb and gutter or sidewalks and landscaping.
- ❑ A safe bypass for bicycles and wheelchairs should be incorporated in the design.
- ❑ Semi-diverters intended to prevent exit are more readily violated.
- ❑ Semi-diverters at mid-block locations are more frequently violated than end of block measures.
- ❑ A six to twelve-month trial period is recommended before a measure is made permanent.
- ❑ Enforcement may be necessary to keep traffic from violating the directional closure.
- ❑ Semi-diverters should not be used on transit routes or major emergency response routes.
- ❑ Violations may be reduced by extending the length of the semi-diverter.

<p><b>Advantages:</b></p> <ul style="list-style-type: none"> <li>❑ Reduce cut-through traffic without restricting bicycle and pedestrian access.</li> <li>❑ May lower travel speeds.</li> <li>❑ Semi-diverters permit emergency vehicles to go around them in the wrong direction (provided there is adequate sight distance), thus allowing a higher degree of emergency access than street closures or diagonal diverters.</li> <li>❑ Can visually enhance a neighborhood if landscaping is included.</li> </ul>	<p><b>Disadvantages:</b></p> <ul style="list-style-type: none"> <li>❑ Could be violated, especially in the late evening, and particularly on low volume streets.</li> <li>❑ May require loss of on-street parking opposite the measure to permit emergency vehicle access.</li> <li>❑ Reduce access for residents.</li> </ul>
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**Semi-Diverter  
Exit Only**



**Semi-Diverter  
Entrance Only**



## DIAGONAL DIVERTERS

### Description:

A diagonal diverter is a physical barrier placed diagonally across a four-way intersection to create two unconnected intersections.

### Appropriate Locations:

- ❑ Diagonal diverters are appropriate only for local streets with volumes up to 3,500 ADT.

### Typical Uses:

- ❑ Eliminate unwanted through traffic.

### Speed/Volume Reductions:

- ❑ Diagonal diverters may be expected to reduce traffic volumes by 20 to 70% (most reductions are around 35%).
- ❑ Slight speed reductions may occur within the immediate vicinity of the measure (within 200 to 300 feet).

### Approximate Cost:

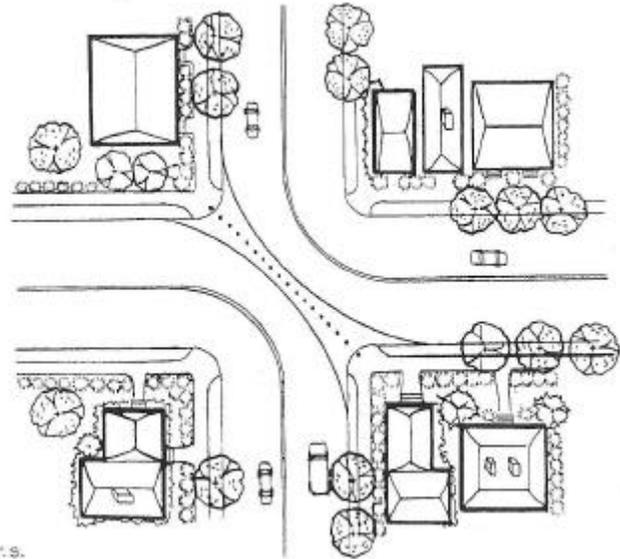
- ❑ Cost typically ranges from \$7,500 to \$20,000 (but can be greater) depending on intersection width, drainage requirements, and landscaping.

### Signing and Markings:

- ❑ Diverters should be clearly visible at all times. Painted curbs, delineation, street lights, and advance warning directional arrow signs (W1-6) should be considered.

### Other Considerations:

- ❑ Collisions may be reduced, but some studies indicate that the collisions are shifted to the collectors or arterials that receive the diverted traffic.
- ❑ Because of their impact on traffic patterns, diagonal diverters can be controversial and should receive strong support before their installation.
- ❑ Diverters can be designed with gaps and curb-cuts for pedestrians, wheelchairs, and bicycles. Provisions should be made for continuity of bicycle routes around the diverter. If necessary, pedestrian crossings can be maintained with sidewalk extensions across the diverter.
- ❑ The radius of the diagonal diverter should reflect the posted speed of the street or the speed should be appropriately modified.
- ❑ Temporary installations and monitoring are recommended prior to construction of permanent measures.
- ❑ Design and location of diverters should be coordinated with emergency service providers. Diverters may be modified with gates, bollards, and mountable curbs to allow emergency vehicle access.
- ❑ Unless the neighborhood is confined to a limited area, installing a single diverter may merely shift through traffic to other local streets. As a result, diagonal diverters generally need to be installed in a group or cluster to effectively route traffic to collector and arterial roadways.



**Advantages:**

- ❑ Reduce volume.
- ❑ Reduce crash potential by eliminating conflicting traffic movements.
- ❑ Lesser impact on traffic circulation when compared to a street closure.
- ❑ If landscaped, can enhance visual environment.
- ❑ May reduce speeds.

**Disadvantages:**

- ❑ Can shift problems elsewhere unless a strategic pattern of diverters is used.
- ❑ May inconvenience local residents in accessing their homes.

**Typical Applications**

Boulder, CO



Seattle, WA



Berkeley, CA

Source: Institute of Transportation Engineers'  
Traffic Calming – State of the Practice

## RIGHT-IN / RIGHT-OUT ISLAND

**Description:**

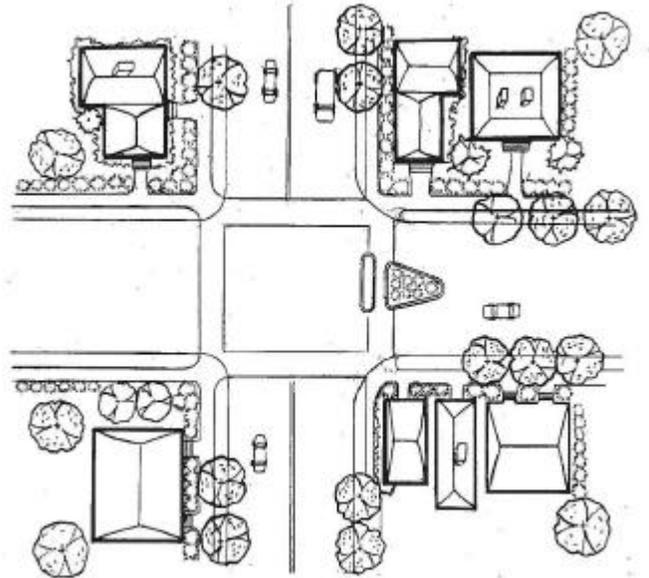
Right-in / right-out islands are a form of intersection channelization that prevents left turns and through movements to and from a side street at an intersection with a major street.

**Appropriate Locations:**

- ❑ Right-in / right-out islands are appropriate on local streets at intersections with arterials and major collectors.

**Typical Uses:**

- ❑ Many jurisdictions employ them as a less intrusive (and less expensive) version of a median barrier through an intersection.
- ❑ The primary purpose of this type of channelization is to reduce cut-through traffic on local streets.



**Speed/Volume Reductions:**

- ❑ They have little or no impact on speed.
- ❑ Volumes on the major street are unaffected by the channelization, while through traffic on the local street is reduced.
- ❑ They may reduce volumes by 20 to 60%.

**Approximate Cost:**

- ❑ A right-in / right-out island typically costs \$3,500 to \$7,500, depending on roadway width and specific design features.

**Other Considerations:**

- ❑ Designs can include depressed or mountable curbs to accommodate oversized vehicles.
- ❑ The island's effectiveness in reducing cut-through traffic will improve when used in combination with other measures on an area-wide basis.

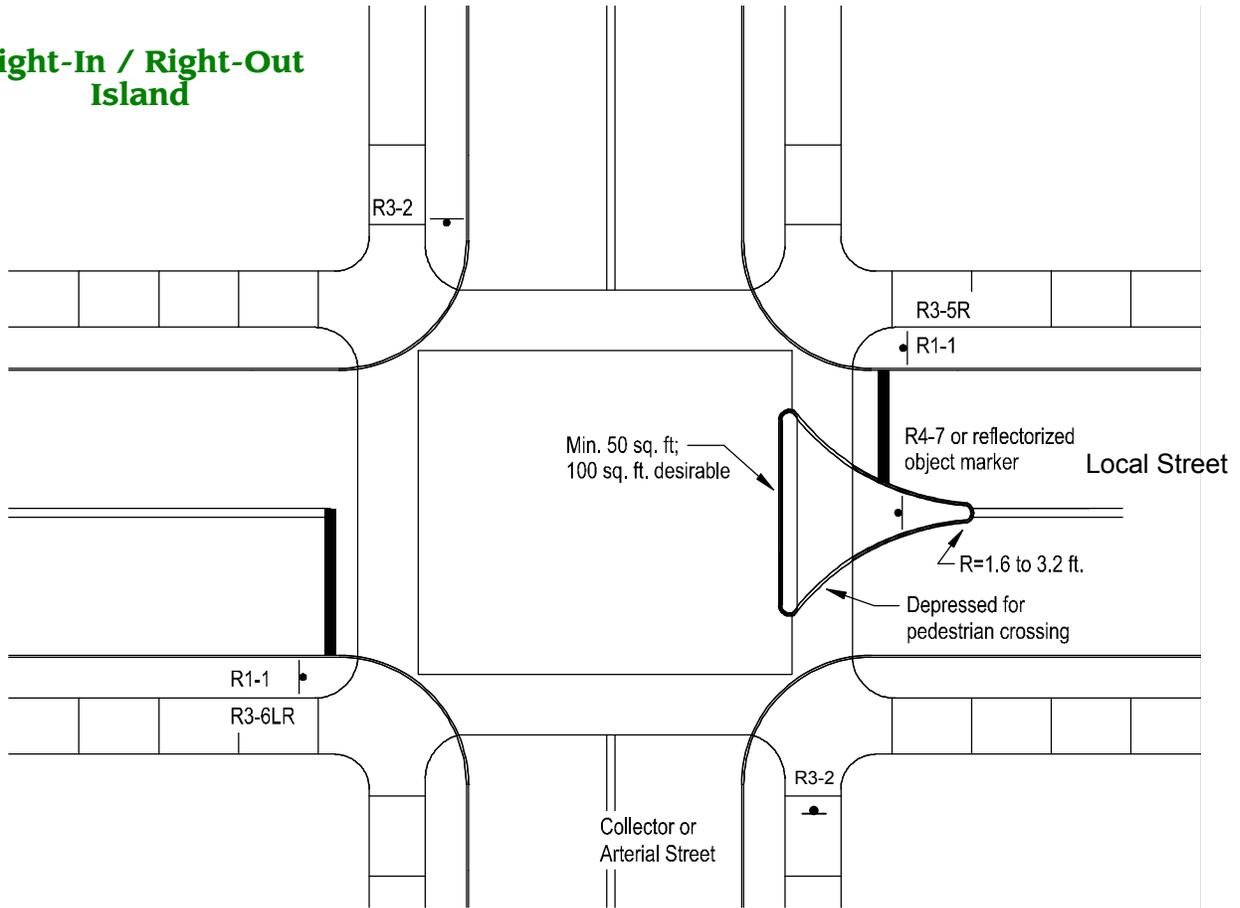
**Advantages:**

- ❑ Reduce through traffic on local streets.
- ❑ Can improve pedestrian safety by reducing crossing distances and providing refuge areas.

**Disadvantages:**

- ❑ Restrict resident access.
- ❑ May divert traffic to parallel streets without traffic calming measures.

**Right-In / Right-Out Island**



R1-1



R3-2



R3-5R



R4-7



R3-6LR

## RAISED MEDIAN THROUGH INTERSECTION

**Description:**

A raised median through an intersection is a barrier which prevents left turns and through movements to and from a local street at an intersection with a major street.

**Appropriate Locations:**

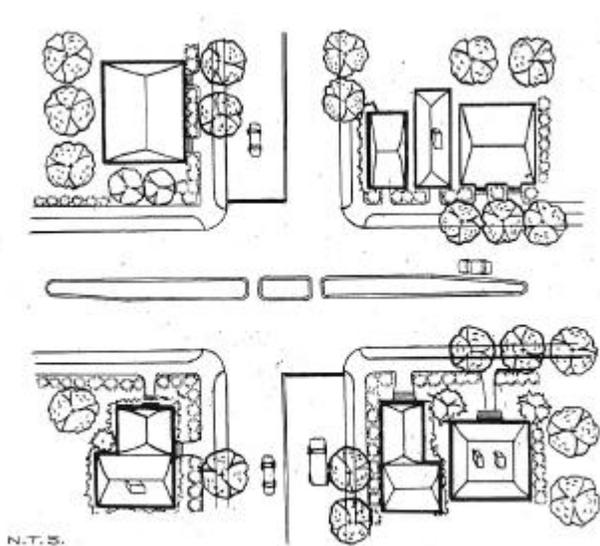
- ❑ Most appropriate on arterials and major collectors at their intersection with local streets.

**Typical Uses:**

- ❑ These measures are typically used to prohibit through traffic in a residential area.

**Speed/Volume Reductions:**

- ❑ Volumes on the local streets may be reduced by up to 70%.



**Approximate Cost:**

- ❑ Cost ranges from approximately \$1,500 to \$20,000, depending on length and width of barrier, construction materials, and landscaping. Flexible delineators can serve as low-cost medians.

**Other Considerations:**

- ❑ Median barriers can be constructed in various ways, including a closely spaced row of flexible delineator posts, a series of pre-cast curb sections, and a barrier constructed on a curbed island with landscaping.
- ❑ Given access restrictions, this measure is not recommended for use on a primary fire response route.
- ❑ To avoid shifting traffic from one local street to another, intersection medians should be installed at all local street intersections potentially impacted along the major street.
- ❑ Designs should incorporate gaps that permit access by bicyclists and pedestrians.

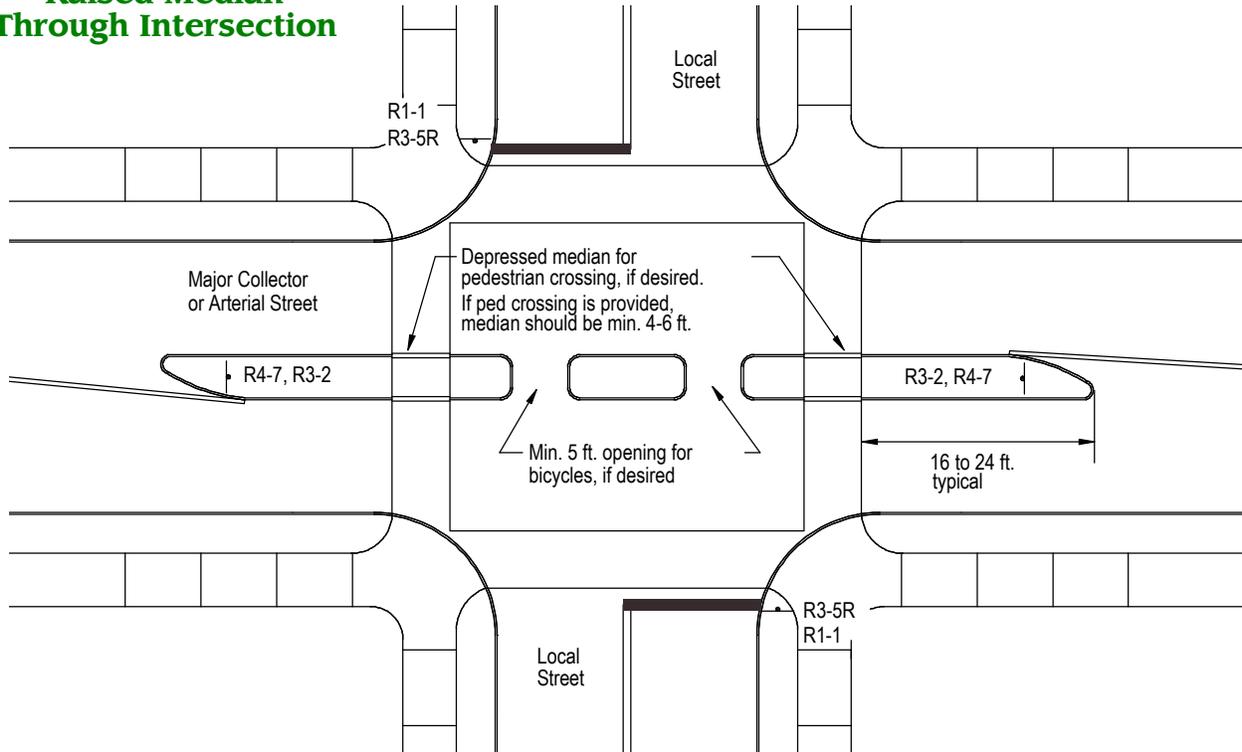
**Advantages:**

- ❑ Reduce traffic volumes on the local street.
- ❑ Improves intersection safety by removing conflicting movements.
- ❑ When landscaped, can improve appearance of the street.

**Disadvantages:**

- ❑ May shift traffic to other locations where left-turn opportunities remain.
- ❑ May affect emergency vehicle access and response.

### Raised Median Through Intersection



R1-1



R4-7



R3-5R



R3-2

## STREET CLOSURES

### Description:

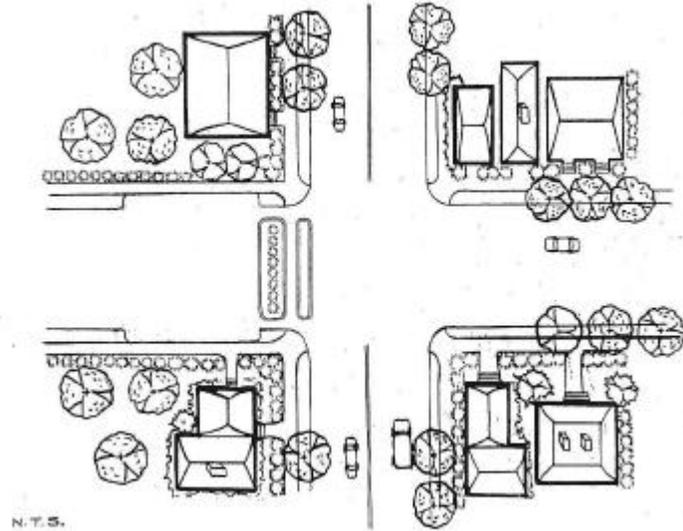
A full street closure is formed by a barrier extending the entire width of the roadway, obstructing all traffic movements and creating a cul-de-sac.

### Appropriate Locations:

- ❑ Full closures are appropriate only on local streets with volumes up to 3,000 ADT.

### Typical Uses:

- ❑ Closures are intended to change traffic patterns by eliminating unwanted through traffic. Because of their impact on traffic patterns, they can be controversial and should be installed only with strong community support.
- ❑ Street closures are most effective when used in a group in a neighborhood. This creates a maze that effectively eliminates through traffic.
- ❑ Closures can be used to create cul-de-sacs either at an intersection or at mid-block locations. The mid-block type is recommended primarily in locations where adjacent land use patterns change and a high traffic generator borders a residential area.



### Speed/Volume Reductions:

- ❑ Volumes may be reduced by up to 80% or more.
- ❑ Speeds may also be reduced, particularly if the newly created dead-end street is less than 400 feet in length.

### Approximate Cost:

- ❑ Costs start at \$1,500 and may easily range up to \$25,000 or more for closures involving poured-in-place curbs, landscaping, sidewalks, and other features.

### Signing and Markings:

- ❑ Proper signing such as “Dead End” (W14-1) or “No Outlet” (W14-2) should be installed at the block entrance warning motorists that the street is not a through street.

### Other Considerations:

- ❑ When converting an existing residential street, consider the design criteria for cul-de-sacs and dead-end streets in the AASHTO “Green Book” (A Policy on Geometric Design of Highways and Streets).
- ❑ Parking bans on approaches to the turning area can also help facilitate turning movements.
- ❑ The barrier closing the street should be placed at an intersecting through street rather than in the interior of a neighborhood.
- ❑ Street closures should not be installed on transit routes.
- ❑ Pedestrians, bicyclists, and people with disabilities can be accommodated by the provision of through sidewalks and/or ramps.
- ❑ Temporary measures can be created with barricades or other devices and are recommended to test the closure before it is permanently installed.
- ❑ Road closures can serve to deprive the road of its public character by limiting its use, rendering the road ineligible for assistance from the Liquid Fuels fund.

**Advantages:**

- ❑ Eliminate all cut-through traffic.
- ❑ Enhance visual appearance of street, if landscaped.
- ❑ May reduce speeds.

**Disadvantages:**

- ❑ Obstruct emergency service access, unless designed with a traversable barrier.
- ❑ Restrict access for neighborhood residents.
- ❑ Can shift problem elsewhere in large neighborhoods, unless a strategic pattern of closures is used.
- ❑ Cul-de-sac may result in loss of on-street parking and/or require the acquisition of property to provide a turnaround area of sufficient diameter.

**Typical Applications**



Palo Alto, CA



Gainesville, FL



Coral Gables, FL

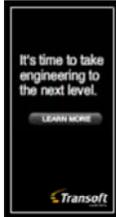
Source: Institute of Transportation Engineers' Traffic Calming – State of the Practice



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## Traffic Calming Measures - Speed Hump



### Description:

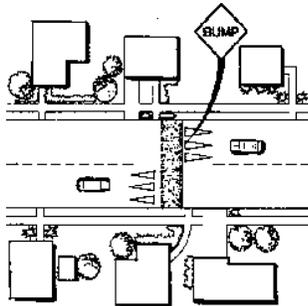
- rounded raised areas of pavement typically 12 to 14 feet in length
- often placed in a series (typically spaced 300 to 600 feet apart)
- sometimes called road humps or undulations

### Applications:

- residential streets
- not typically used on major roads, bus routes, or primary emergency response routes
- midblock placement, not at an intersection
- not on grades greater than 8 percent
- work well with curb extensions



### Design/Installation Issues:



- typically 12 to 14 feet in length; other lengths (10, 22, and 30 feet) reported in practice in U.S.
- speed hump shapes include parabolic, circular, and sinusoidal
- hump heights range between 3 and 4 inches with trend toward 3 - 3 1/2 inches maximum
- difficult to construct precisely; may need to specify a construction tolerance (e.g. ± 1/8 inch) on height
- often have signage (advance warning sign before first hump in series and warning sign or object marker at hump)
- typically have pavement marking (zigzag, shark's tooth, chevron, zebra)
- taper edge near curb to allow gap for drainage
- some have speed advisories
- bicyclists prefer that it not cover or cross a bike lane

### Potential Impacts:

- no effect on non-emergency access
- speeds determined by height and spacing; speeds between humps have been observed to be reduced between 20 and 25 percent on average
- based on a limited sample of sites, typical crossing speeds (85th percentile) of 19 mph have been measured for 3 1/2 inch high, 12 foot humps and of 21 mph for 3 inch high, 14 foot humps; speeds have been observed to rise to 27 mph within 200 feet downstream
- speeds typically increase approximately 0.5 mph midway between humps for each 100 feet of separation
- studies indicate that traffic volumes have been reduced on average by 18 percent depending on alternative routes available
- studies indicate that collisions have been reduced on average by 13 percent on treated streets (not adjusted for traffic diversion)
- most communities limit height to 3-3 1/2 inches, partly because of harsh ride over 4-inch high humps
- possible increase in traffic noise from braking and acceleration of vehicles, particularly buses and trucks

### Emergency Response Issues:

- Concern over jarring of emergency rescue vehicles
- Approximate delay of between 3 and 5 seconds per hump for fire trucks and up to 10 seconds for ambulance with patient

### Typical Cost:

- Approximately \$2,000 (1997 dollars)

For additional detail, refer to ITE's Recommended Practice entitled *Guidelines for the Design and Application of Speed Humps*. Visit the [ITE Bookstore](#) for more information about this publication.

### Calming Measures

- Library
- Discussions
- Seminar Materials
- Selected Reports
- Public Information
- Locations
- Other Links
- Home



1627 I ("Eye") Street, NW, Suite 600  
 Washington, DC  
 20005-3538 USA  
 Phone: 202-785-0060  
 Fax: 202-785-0609  
 Send comments to:  
[website@ite.org](mailto:website@ite.org)

[SPEED HUMP](#) | [SPEED TABLE](#) | [RAISED INTERSECTION](#) | [CLOSURE](#) | [NEIGHBORHOOD TRAFFIC CIRCLE](#) | [CHICANE](#) | [CHOKER](#) | [CENTER ISLAND NARROWING](#)

**Institute of Transportation Engineers**  
 1627 Eye Street, NW, Suite 600 | Washington, DC 20006 USA  
 Telephone: +1 202-785-0060 | Fax: +1 202-785-0609  
[ite\\_staff@ite.org](mailto:ite_staff@ite.org)

ITE Canon of Ethics  
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# 1. PROJECT INFORMATION

Project Name: **Koons Park, Lower Paxton, PA**

Date of review: **12/24/2012 11:19:32 AM**

Project Category: **Development, Additions/maintenance to existing development facilities**

Project Area: **27.7 acres**

County: **Dauphin Township/Municipality: Lower Paxton**

Quadrangle Name: **HARRISBURG EAST ~ ZIP Code: 17112**

Decimal Degrees: **40.341098 N, -76.788318 W**

Degrees Minutes Seconds: **40° 20' 28" N, -76° 47' 17.9" W**



# 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

**RESPONSE:** No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

**RESPONSE:** No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

### 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <http://www.naturalheritage.state.pa.us>.

### 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a **preliminary** screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

### 6. AGENCY CONTACT INFORMATION

**PA Department of Conservation and Natural Resources**  
 Bureau of Forestry, Ecological Services Section  
 400 Market Street, PO Box 8552, Harrisburg, PA.  
 17105-8552  
 Fax:(717) 772-0271

**U.S. Fish and Wildlife Service**  
 Endangered Species Section  
 315 South Allen Street, Suite 322, State College, PA.  
 16801-4851  
 NO Faxes Please.

**PA Fish and Boat Commission**  
 Division of Environmental Services  
 450 Robinson Lane, Bellefonte, PA. 16823-7437  
 NO Faxes Please

**PA Game Commission**  
 Bureau of Wildlife Habitat Management  
 Division of Environmental Planning and Habitat Protection  
 2001 Elmerton Avenue, Harrisburg, PA. 17110-9797  
 Fax:(717) 787-6957

### 7. PROJECT CONTACT INFORMATION

Name: \_\_\_\_\_  
 Company/Business Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone:(\_\_\_\_\_) \_\_\_\_\_ Fax:(\_\_\_\_\_) \_\_\_\_\_  
 Email: \_\_\_\_\_

### 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

\_\_\_\_\_ date  
 applicant/project proponent signature

# 1. PROJECT INFORMATION

Project Name: **Wolfersberger Park, Lower Paxton, PA**

Date of review: **12/24/2012 11:29:49 AM**

Project Category: **Development, Additions/maintenance to existing development facilities**

Project Area: **92.5 acres**

County: **Dauphin** Township/Municipality: **Lower Paxton**

Quadrangle Name: **HARRISBURG EAST** ~ ZIP Code: **17112**

Decimal Degrees: **40.340558 N, -76.778512 W**

Degrees Minutes Seconds: **40° 20' 26" N, -76° 46' 42.6" W**



# 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
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2001 Elmerton Avenue, Harrisburg, PA. 17110-9797  
Fax:(717) 787-6957

### 7. PROJECT CONTACT INFORMATION

Name: \_\_\_\_\_  
Company/Business Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Phone:(\_\_\_\_\_) \_\_\_\_\_ Fax:(\_\_\_\_\_) \_\_\_\_\_  
Email: \_\_\_\_\_

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\_\_\_\_\_ date  
applicant/project proponent signature

**Assumptions for Required Volume Mitigation Calc.**

- Entire 29.4 acre site will be disturbed for reconstruction
- All existing pervious areas considered meadow
- 20% of existing impervious considered meadow
- All proposed pervious considered turf in good condition
- All proposed pavement areas including walkways considered impervious

**Results of the Required Volume Mitigation Calc.**

- Approximately ½ acre-ft of runoff volume will need mitigation in association with the park construction

**Assumptions for Structural BMP Volume Mitigation Calc.**

- Pervious Walkway volume calculated considering 1 foot of subsurface storage with 40% void space could be constructed under 75% walkways. To ensure these BMPs to be functional, extensive infiltration testing will need to be conducted under all proposed walkways. A complex drainage system will be required to pretreat runoff prior to entering the subsurface infiltration zones, deliver water to subsurface infiltration zones, and provide an overflow pathway from the infiltration zones. Also, subsurface infiltration zones should have a level bed which can create design difficulties when constructed under sloping roadways and/or walkways. If this type of BMP is desired, the use of subsurface infiltration under parking areas may provide an option that is easier to implement.
- Bioretention (aka rain-gardens) volume calculated assuming the entire 1-acre of land preserved for stormwater management will be converted to bioretention/infiltration zones. These areas could be medium/large areas preserved for stormwater management as well as parking area islands. These BMPs will probably be more feasible at this park (than typical infiltration basins) due to the relatively poor quality, slowly infiltrating soils which will require amendment. Also landscaped bioretention facilities will be more aesthetically pleasing than large infiltration basins. These areas could be used as a desirable landscaping feature such as butterfly or native flower gardens. Bioretention facilities are typically limited to a maximum of 1-ft depth with sloping sides. It was assumed that the 1 foot of water could be stored and infiltrated over the entire acre preserved for stormwater management. This volume was then reduced by 25% to account for side slopes. These BMPs should be less expensive to implement and require less complex drainage systems than the pervious walkways. However site drainage will need to be designed to carry runoff from impervious areas such as parking lots to the bioretention facilities and appropriate outlets to the drainage systems will need designed to carry water from the facilities. Total depth of these facilities would probably be 1.5 to 2 ft. to provide some freeboard above the outlet. The location of these facilities could also be used for E&S controls during the construction phase if appropriate measures are undertaken to protect underlying soils.



Landscaped Rain Garden (Photo courtesy of City of Lincoln Nebraska, watershed Management Division)



Grassed Bioretention/Detention area (Photo NY Department of Environmental Conservation)



Meadow Bioretention area (Photo Courtesy of Temple – Villanova Sustainable Stewwater Initiative)



Bioretention area adjacent to parking (Photo Couresty of NC State University College of Agriculture and life Sciences)



Parking Island Bioretention Area (Photo Courtesy of Minnesota Water)

#### **Results for Structural BMP Volume Mitigation Calc.**

Pervious Walkways – Approximately 0.75 acre-ft of volume mitigation could be provided by this BMP (assuming 75% of walkways are pervious and have subsurface infiltration zone), which would exceed the volume mitigation requirement

Bioretention – Approximately 0.75 acre-ft of storage could be provided by this BMP assuming an acre of land is utilized for bioretention BMPs. This would exceed the volume mitigation requirement.

## Koons Park – anticipated permitting requirements

GTS Technologies, Inc.

04.02.2013

- Since the proposed park will require greater than 1-acre of disturbance for construction, it is assumed that a NPDES construction permit will be required
- Since this project does not lie in a special protection watershed, a NPDES general permit will be used
- This permit requires erosion and sediment pollution control and post-construction stormwater management control measures
- Small maintenance projects may not require an environmental permit but new construction and/or significant disturbance (especially if over an acre) will require a permit.
- If the project proposes to impact the existing wetland/stormwater management facility adjacent to the salt storage area, the required mitigation associated with this impact will need coordinated with permitting agencies. If this area was previously permitted as a stormwater management facility, it will probably not be considered a jurisdictional wetland. However, if it was a permitted stormwater management facility, in-kind stormwater mitigation will probably be required if the facility is removed. Also, it will need to be determined if the stream channel at this location is a jurisdictional stream. If so, waterways permitting requirements will need considered.
- It will need to be determined if the piped drainage (which runs under the park and outlets at the southeastern corner of the site) is considered a jurisdictional stream by the permitting agencies. This is in question since there appears to be baseflow coming from the southeastern culvert. If considered a jurisdictional stream rather than drainage, waterways permitting will need considered. Also, if this existing site drainage is to be modified and/or replaced, erosion controls and construction phasing need considered since this appears to be a continuously flowing drainage. It is highly recommended that a detailed drainage reconnaissance and meeting with environmental agencies to review this issue is conducted prior to the design phase.
- On the morning of April 2<sup>nd</sup> a call was placed to the Dauphin County Conservation District to discuss any possible site or project -specific permit requirements. We have not yet received a call back. We will forward any relevant information once we receive a call-back

Notes from Dauphin County Conservation District Phone Call with Steve Frey on April 5<sup>th</sup>, 2013.

GTS Technologies, Inc.

04.08.2013

Notes from Dauphin County Conservation District Phone Call with Steve Frey on April 5<sup>th</sup>, 2013.

- Steve noted that any phase of the project disturbing more than 1-acre will require a NPDES permit. He stated that if initial phase of work is does not disturb an acre – this first phase would only require an E&S permit but if successive phases push the total project disturbance over an acre – a NPDES permit will be required.
- Steve noted that since this is a municipal project – County Conservation District fees associated with the E&S or NPDES permit will be waived. However, state fees will still apply.
- Steve strongly recommended that a pre-design meeting be held with the District and DEP, to determine what the stormwater requirements will be. He stated that the agencies might waive certain requirements since it is a municipal park project.
- Steve stated that coordination about the culverted stream should be conducted with the PA DEP since they don't handle Chapter 105 permitting.
- Steve stated that this project would probably be handled best with a phased permit. He stated that to begin a phased permit they would need a total master plan for the project to start, but detailed engineering and stormwater/E&S calcs. would only need completed for each phase. He said that a phased permit typically results in less paperwork for the permittee and agencies. He did note that per the projected length of this project – several permit renewals would probably be required.

**Lower Paxton Township**  
**Master Plan Study Committee**  
**Committee Meeting & Public Meeting**  
January 23, 2013  
Municipal Center Multi-Purpose Room A

Committee Members In Attendance

Stan Smith	Mary Jane Hornung
Tom George	Robert MacIntyre
John Scola	Debbie Hoachlander
Jim Seidler	Lori Wissler
Neal Johnson	Dennis Guise
Chuck Frushon	

Also Present

Brian Luetchford, Staff Liaison  
Watson Fisher, SWAN  
Sarah Leeper, Simone Collins  
Bill Collins, Simone Collins  
Jeff Kline, Foreman, Public Works Dept  
Matt Miller, EFT, Public Works Dept

**CALL TO ORDER & INTRODUCTIONS**

The meeting of the Lower Paxton Township Master Plan Study Committee began at 6:00 pm on Wednesday, January 23, 2013, in Multi-Purpose Room A of the Lower Paxton Township Municipal Center, 425 Prince Street, Harrisburg, Pennsylvania.

**DISCUSSION**

Mr. Luetchford stated that the Committee and consultants attended the Board of Supervisors Workshop Meeting during the previous week, where they discussed ideas for Koons and Wolfersberger Parks. The Board members offered good ideas and useful feedback. It was noted that the Board does not hear from residents who want to have a passive park, but they do hear from those in organized sports.

Ms. Leeper reported that the traffic engineer did a preliminary study, and their findings were not surprising and supported what has been brought up in the meetings. She encouraged the Committee members to look at the web survey and share it with others; this is another way to get input from the public.

Ms. Leeper explained that the civil engineer looked closer at the drainage at Koons Park and diagrammed which fields have clay soils beneath them, creating poor drainage. There will be more engineering done for stormwater management and design features for optimal water quality and water volume control.

Ms. Leeper stated that there is an overall consensus and very strong desire to keep Koons Park youth-oriented.

Mr. MacIntyre noted there may be an opportunity to acquire land across Laporte Street from the pool.

Mr. Guise asked how cost considerations are factored into the plans. Ms. Leeper explained that costs haven't been considered yet. The first goal is to find out what the public really wants from a park here, consider how to phase it in, then work out the costs.

Ms. Leeper explained that the traffic engineer looked at the two existing roads into the site from Wenrich, both of which are in terrible locations from a safety viewpoint. They would like to consider a road into the site where Warren Avenue intersects Wenrich Street. Another option is across from Whisper Wood Lane. There are also ideas of coming in from the east as those parcels develop. The "superblock" (Linglestown Road, Mountain Road, Piketown Road and Blue Ridge Avenue) can easily lend itself to greenways with Wolfersberger Park at the heart of it, and also school activities because of the proximity of the high school.

### CONCEPT PLANS

Ms. Leeper presented several concepts for the southern lot of Wolfersberger, and the Committee discussed pros and cons of each. Ms. Leeper encouraged them to see the concepts with interchangeable parts, that they do not have to be accepted in their entirety.

Support facilities for maintenance will be essential for the park. The entrance across from the apartments could be used for maintenance vehicles only. Mr. Miller explained they will need drivable access to every part of the park in order to maintain it. The access could be paved or it could be another material that can support vehicles. The salt dome and maintenance garage at Koons are not big enough anymore. The maintenance equipment needs to be stored on site because it is too costly and inefficient to transport it across the Township every time it is needed. The salt dome is essential to the north side of the Township; if it is not kept at Koons Park it will need to be located at Wolfersberger. He also noted that the area in and around the salt dome needs to be large enough for the large delivery trucks that bring the salt in, and for the Public Works vehicles to easily load material.

It was suggested that the park could be a passive park with active recreation on it.

There is a balance needed between the parking/walking to the recreational activities, and the parking overwhelming the recreational experience.

All of the concepts currently assume that the north lot of Wolfersberger Park will continue to house the paintball operation.

A suggestion was made to use the steep slopes for rock climbing or bouldering. Ms. Leeper cautioned that the steep slope areas are usually restricted from any development.

The Committee recessed briefly until the start of the public portion of the meeting.

The public input portion of the meeting began at 7:00 pm. There were approximately 20 people in attendance.

Ms. Leeper reviewed the process, the background information, and the park facilities. Ms. Leeper presented concept plans for Koons Park to the group. A suggestion was made for an interim baseball field size. Ms. Leeper noted that there are fields for midget, midsize, and teenager teams.

An attendee asked if the trails will be paved or stone. Ms. Leeper explained there will probably be a variety; some will be paved for maintenance and emergency vehicles, while some will be gravel and some may just be graded with no material. The walkways that link parking to any destinations will be ADA compliant.

The representative from the Koons Pool noted that buses and large vans frequently bring children to the pool, so they cannot lose their loading area. There are daycare centers and swim teams that use the pool very heavily and very regularly. It will be very important to have a good access area for the pool. Ms. Leeper noted that nothing has been done with the plans for the pool yet, awaiting details from the pool architect. The pool has received considerable compliments on its condition. The pool could use more staff parking.

Mr. MacIntyre commented that the Board of Supervisors only hears from those on organized sports teams, who all want more fields for their sports. He added that this gives them the impression that that is what the general public wants. There is no voice speaking for any passive uses or trails.

A comment was made that Derry Township has 26 miles of paths suitable for biking or other activities. It would be nice to have a pathway that goes somewhere, not just a circular track, like what is used at the middle schools.

Mr. Seidler stated that there is a Greenway Plan in Lower Paxton Township, which includes sidewalks, schools routes, on- and off-road trails. He noted that it is difficult to retrofit a roadway to include a greenway. Since the area around Wolfersberger Park isn't developed yet, it is ideal to let the park dictate the surrounding area instead of vice versa. It was also noted that Wolfersberger is a link between destinations, such as the high school and Koons Park. Mr. Seidler suggested that these greenways can be added to the greenway plan so that they are formally included. Trails are an easy place to start developing within the park. First would be hiking trails and then more accessible paths can be phased in. As people use the trails they will start to voice their desire for more/better trails, and they may come up with ideas for the park as they spend time in it.

Ms. Hoachlander suggested that if the dog park group has funds, that would be a good place to start. This would also bring an initial wave of visitors to the park. Carol Potteiger noted that users of a passive park or passive amenities are naturally going to be less vocal, and they are not an organized group. Walkers do not pressure like coaches do; they are inherently different groups. Another person suggested that walkways between the parks be planned for. He noted that people walk to Koons Park all the time and they have to walk in the street because there is

no safe place to walk. There are also no lights in the park. It was also noted that walking on Balthaser Street is scary, Larue/Laporte are not good but not as bad as Balthaser Street.

It was suggested that Wolfersberger host a blend of passive uses and sports uses. She noted that farming was at the heart of the Wolfersberger family, so maybe a community garden would be a good idea.

There was a general agreement with this group that a hybrid of passive and active uses would be best for the lower portion of Wolfersberger Park. Ms. Leeper noted that this has been the general feeling at the previous two meetings as well.

Mr. Luetchford clarified that the "fields" shown on the HRG plan for Wolfersberger only show flat areas that could be used as something; they do not indicate that soccer fields are the only facilities being considered.

Outdoor community pools in general are not being revitalized, but Koons Pool has been successful at reinventing itself, and it is paying off. Another representative of the pool suggested they would welcome improvements to the pool, but they do not want to lose the patrons and partners they have worked so hard for. Mr. Collins noted that Wallover Architects has called Koons Park remarkable. He added that if the pool is rebuilt in a different location, it can remain open during construction; if it is rebuilt in its current location it will be closed for a period of time.

Ms. Potteiger asked how the suggested indoor pool facility would affect the Friendship Center. Mr. Collins suggested they would draw different markets, but a market study would need to be done to determine the effect.

The pool representative noted that Koons Pool provides for spontaneous recreation, which few other facilities offer. Ms. Potteiger suggested places to allow for just playing.

Mr. Collins explained that it is too early in the process to decide how funding will be worked out, but noted that there are opportunities for Dauphin County gaming funds, as well as grants through DCNR.

#### ADJOURNMENT

The consultants asked that those in attendance continue to think about possibilities at both parks and email or call any time.

The meeting ended at 8:30 pm. The next meeting of the Master Plan Study Committee is scheduled for February 28, 2013 at 6:00 pm in Multipurpose Room A of the Municipal Center.

Respectfully Submitted,

  
Michelle Hiner  
Recording Secretary

Lower Paxton Township  
**Master Plan Study Committee**  
Committee Meeting & Public Meeting  
April 4, 2013  
Municipal Center Multi-Purpose Room A

Committee Members In Attendance

Tom George	Robert MacIntyre
Dennis Guise	Debbie Hoachlander
Chuck Frushon	Mary Jane Hornung

Also Present

Brian Luetchford, Staff Liaison  
Watson Fisher, SWAN  
Sarah Leeper, Simone Collins  
Bill Collins, Simone Collins  
Lisa Whitmyer, Wallover Architects  
Brett Long, GTS

**COMMITTEE MEETING**

**CALL TO ORDER**

The meeting of the Lower Paxton Township Master Plan Study Committee began at 6:00 pm on Wednesday, April 4, 2013, in Multi-Purpose Room A of the Lower Paxton Township Municipal Center, 425 Prince Street, Harrisburg, Pennsylvania.

**DRAFT MASTER PLAN  
KOONS PARK**

Ms. Leeper presented a draft Master Plan. This Plan includes defined pedestrian and vehicular circulation and it creates an arrival point at the central promenade. This area becomes the main entrance. Ms. Leeper identified areas for parking, interior and exterior walkways and a small plaza with a crosswalk and sidewalk connection to parking areas. The entrance area will be an ideal location for things such as flags, art, memorial plaques, and signage, lending itself to being a gathering point for groups within the park. Other features shown on the plan include a zero depth fountain, a band shell and an area for displaying art. Sidewalk games are shown on the promenade.

Ms. Leeper reviewed the locations of the playgrounds, restrooms, basketball, volleyball and concessions stand. The lower end of the park will continue to host yard sports and several additional features.

The goal of all of these features is to create a “sense of place” for Koons Park.

The pool has been well maintained beyond its life expectancy. Part of reinventing Koons Memorial Pool can include orienting the building towards the parking and the park. The building can house restrooms for the pool and the park, as well as concessions.

**STORMWATER MANAGEMENT**

Brett Long, of GTS, discussed the impacts to stormwater management and the new regulations imposed by DEP. He explained scenarios that can incorporate stormwater facilities into park features. This is both better for the environment and less expensive.

There are several environmental issues. This area is or had been the headwaters of Beaver Creek. Impacts to a stream are significant, and will include mitigation and additional work as directed by DEP and DCCD, and possibly the Army Corps of Engineers. Stormwater improvements can be done in phasing.

### **DRAFT MASTER PLAN WOLFERSBERGER PARK**

Ms. Leeper displayed maps of the Wolfersberger Park. The Master Plan shows the main entrance for Wolfersberger to be across from Warren Avenue. The southern entrance would be for maintenance vehicles and access to the salt dome. There are two plateaus shown for sport fields. Other amenities shown include a dog park, tennis courts, pavilions, restrooms, winter sledding areas, a network of trails and an adventure-style playground. Community gardens are planned for the historic homestead site. On the northern lot, the paintball setting is shown with the fields that exist as well as tournament fields, paths, bridges and restrooms. Paintball is an ideal use under high tension power lines.

### **COMMENTS**

Ms. Leeper asked for questions or comments from the Committee prior to the public meeting beginning. Mr. McIntyre commented that he likes that Koons Park is being given more of a community feel than just a collection of sports fields. Mr. Frushion noted that it seems that every comment and desire was integrated into the Master Plan.

### **RECESS**

The Committee took a brief recess prior to starting the public portion of the meeting.

### **PUBLIC MEETING**

The public meeting began at 7:00 pm.

### **INTRODUCTION**

Ms. Leeper explained the background of the project and each team members' roles in the project. The Draft Master Plan will be available in print at the Lower Paxton Township Municipal Center and the Parks & Recreation Department, and it will be available online for review as well. In June, they will present the Final Master Plan to the public.

### **DRAFT MASTER PLAN KOONS PARK**

Ms. Leeper explained the changes in parking, installation of crosswalks and sidewalks. The upper portion of the park will be like a small complex and there will be a central promenade and redefined pedestrian and vehicular circulation. The area will become the main entrance at the central promenade. The entrance area will be an ideal location for things such as flags, art, memorial plaques,

and signage, lending itself to being a gathering point for groups within the park. Other features shown on the plan include a zero depth fountain, a band shell and an area for displaying art. Sidewalk games are shown on the promenade. Ms. Leeper pointed out the locations of the playgrounds, restrooms, basketball, volleyball and concessions stand. The lower end of the park will continue to host yard sports and several additional features. The goal of all of these features is to create a “sense of place” for Koons Park.

The fountain is shown near enough to the pool to share filtration, but will be separate from each other.

The stormwater management will incorporate nature areas and sports, encouraging learning about water quality and the importance of wetlands.

There is lighting now at Michael Jones field and the basketball and volleyball courts, and there may be lighting at the teenager and the football fields. This will lengthen the usable time at the fields and will be done in a way as to not affect the neighbors.

### **DRAFT MASTER PLAN WOLFERSBERGER PARK**

Ms. Leeper presented a map with existing features showing wetlands, steep slopes, power lines, paintball, and surrounding undeveloped land. The undeveloped area has the potential to develop in the next 10-20 years and that could provide access to the park for vehicles and pedestrians. Part of planning for the park includes planning for ways to incorporate or coordinate with the development around the park.

Ms. Leeper reviewed the feedback she has received so far from the public. Some of the most common comments include a concern for the traffic and desire for a more passive park with a balance of passive and active. She also noted that phasing of Wolfersberger Park will depend on funding.

### **Public Comment**

Ms. Leeper asked those in attendance for their thoughts and suggestions.

Sam Hartley, Softball Association of Linglestown, commented that there hasn't been much consideration given to female sports. The softball organization is the second largest organized sports organization in the area. It is active for 7 out of 12 months a year, and has increased its participation every year for the past eight years and the plans show one field when they use three now. There are lights proposed on fields that the male sports use but not the female sports.

Ms. Leeper explained that there are fields planned at Wolfersberger that are not programmed or designed for any certain sport, so that may be an ideal location for softball. During the planning process, they have strived to plan for as much or more field space for those sports that use Koons Park now. Mr. Hartley asked if there would be lights at Wolfersberger. Ms. Leeper answered that when the idea was raised, the answer she received from the public was that they did not want lighted fields at the new park, they preferred to keep it natural. Mr. Hartley questioned the idea that lights being planned for now when they have never been okay in the past. Mr. Hartley noted that there has to be at least two fields. If they could be lighted, it would be great.

Ms. Leeper noted the only lights proposed at Wolfersberger Park will be safety lights for areas like the parking lots and the maintenance shed.

Improvements to Wenrich Street were suggested. Ms. Leeper explained that Wenrich Street is a rural road and will continue to be that way, so their focus was on bringing visitors into the park from other ways. Mr. Luetchford added that street improvements are needed, and possible, but not as a part of this plan. This plan has identified roads and trails that can be connected in the future through neighborhoods. A developer would need to make improvements to Wenrich Street if he developed land along it. Pedestrian traffic is also a concern, and there are ways to move people east/west from the school to/through Wolfersberger and to Koons Park. North/south pedestrian traffic cannot be accommodated along Wenrich Street. Several residents commented on the speed of traffic on Wenrich Street. Mr. Luetchford stated that DCNR grant money is paying for this park planning process, so unfortunately the street improvements won't be addressed in this plan.

A resident spoke on behalf of senior citizens and thanked the planners for keeping Wolfersberger a passive park. Several residents agreed.

A resident commented that he liked the walkability of the parks instead of the park just being a gathering of ball fields. He appreciated that he will be able to use a park as a park.

Mr. McIntyre stated that there is a web survey and he encouraged people to please take a minute to fill it out. He noted that the only voices that make themselves heard by the Board of Supervisors tend to be the organized sports and similar organizations, so if residents want the park to be passive they have to have their voices heard.

It was agreed by several residents that they like how some passive amenities were added to Koons park and how much of Wolfersberger Park was left natural.

It was suggested to link neighborhood park land to this park when the land is developed around this park.

A resident asked the length of the trails. Ms. Leeper suggested each loop may be about  $\frac{3}{4}$  mile, but she can check for sure.

A resident thanked the planners for keeping the paintball business in its current location.

A resident asked how many responses have been received through the web survey. Ms. Leeper answered about 300, and it will remain open during the review period.

A resident who lives near the corner of the park land asked if the trees that are there now will remain. Ms. Leeper agreed that they would.

A resident asked if the Linglestown Clubhouse will remain. Ms. Leeper stated that there is proposed to be a similar building associated with each field.

Mr. Collins noted that phasing a field in and out will be coordinated so that no one loses a season or use of a field during the transition. As funds are raised or applied for, the priorities can be reorganized as appropriate.

Mr. Hartley noted he appreciates that there will not be less fields than there are now for the sports.

A resident commented that they had been worried that the park would turn into a countywide facility, and they are very pleased to see that it will continue to serve Lower Paxton Township first.

Mr. Luetchford noted that many grants, especially DCNR grants are 50/50 match, meaning that if the grant is for \$5,000 the applicant has to also put up \$5,000. They usually allow for in-kind match as well. One suggestion was to tie the dog park money to a grant. Developing the dog park first would draw some visitors and interest in the new area.

### ADJOURNMENT

The consultants asked that those in attendance continue to think about possibilities at both parks and email or call any time. They also encouraged residents to utilize the survey so their voices are heard.

The meeting ended at 8:30 pm.

Respectfully Submitted,



Michelle Hiner  
Recording Secretary

**Lower Paxton Township  
Master Plan Study Committee**

Meeting of September 20, 2012  
Friendship Center, Room 106

Committee Members In Attendance

Stan Smith	Mary Jane Hornung
Tom George	Robert MacIntyre
John Scola	Debbie Hoachlander
Jim Seidler	Lori Wissler
Neal Johnson	Dennis Guise
Chuck Frushon	

Also Present

Brian Luetchford, Staff Liaison  
Watson Fisher, SWAN  
Nick Gehret, Staff  
Bill Collins, Simone Collins  
Peter Simone, Simone Collins  
Sarah Leeper, Simone Collins  
Joe Nardella, GTS Technologies  
Mike Lingo, Wallover Architects  
Lisa Whitmeyer, Wallover Architects

**CALL TO ORDER & INTRODUCTIONS**

Ms. Leeper called the meeting of the Lower Paxton Township Master Plan Study Committee to order at 7:06 pm on Thursday, September 20, 2012, in Room 106 of the Friendship Center, 5000 Commons Drive, Harrisburg, Pennsylvania.

Members and consultants introduced themselves. Mr. Collins thanked Lower Paxton for allowing them to work on another project together and he encouraged the group to throw out ideas and ask questions through the entire meeting.

Ms. Leeper stated that Grove Miller will do the engineering for the project, and Tim Smell is a forester that will work on the Wolfersberger tract.

**APPROVAL OF MINUTES**

Being the first meeting, no action was taken on minutes.

**PROJECT SCHEDULE**

Ms. Leeper provided a tentative schedule. There will be six Committee meetings: four public meetings and two focus group meetings. One focus group is sports users, and one is for any other special interest groups. There would also be two meetings with the Board of Supervisors. Key person interviews will be done throughout the process. Once the draft plan is presented in the beginning of April 2013, a one month review period would begin. The plan should be finalized in June 2013.

Ms. Leeper stated they did a site visit today and plan to go again once the leaves fall. They looked at the uses taking place and facilities there, as well as an initial look at drainage. They were also able to walk a portion of Wolfersberger and up to the homestead site. She commented that the site is beautiful and has natural water features and some wetlands, and some old farm field areas and wooded areas. Ms. Leeper noted they also looked at how the two parks connect via the residential neighborhood located between them.

## **BRAINSTORMING SESSION**

Mr. Collins explained the card technique they use to solicit ideas and information. There are four categories: goals, facts, concepts and partners.

### **Goals**

Mr. MacIntyre would like to see the overcrowding at Koons alleviated. He would also like to see effective use of Wolfersberger, while keeping expenses down.

Mr. Seidler is interested in the connection between the two parks, motorized, nonmotorized and pedestrian.

Mr. Guise suggested improving the parking at Koons. Mr. Collins agreed and noted that the parking lot by the pool is almost empty but the parking by the football field is full tonight. Mr. Collins asked if there are certain times of day or times of the year that parking is completely maxed out. Mr. MacIntyre answered mid-May through early June; the pool usage is being utilized and baseball/softball teams are all playing, as well as basketball and volleyball. The pool opens on Memorial Day. There are no competitions held at the Koons pool, but there are swim lessons, and this year there was a team that practiced there.

Mr. Collins stated that Mr. Lingo and Ms. Whitmeyer are pool specialists, and they will meet with the pool operators/managers.

Mr. Luetchford stated that the first pool, which is the deeper one with the slide, was built in 1960. The kiddie pool was built at the same time, and then the lap pool was built in about 1962. Ms. Wissler noted that there are two other pools nearby: Devon Manor on Devonshire Road near Colonial Road, and Penn Colonial off of Locust Lane. All three pools are private and there are no municipal pools in Lower Paxton. They are membership pools, run by associations. The Koons pool association leases the park land for \$1 per year since 1960. Mr. Collins asked if the same scenario will apply to the paintball operation. Mr. MacIntyre explained that the lease will continue when the Township owns the land until such time as the land is ready to be developed. Mr. Luetchford added that the Township is in the eleventh and final year of payments; the last payment is due in January 2013. The purchase price was \$800,000 with no interest. Mr. Collins asked if there was a vision for Wolfersberger. Mr. MacIntyre answered that there have been different ideas over the years, including selling it to a sports organization, exclusive use by another organization, both ideas have basically off the table. Another

consideration was a county multi-sport complex. Dauphin County is working on a plan for a 100+ acre complex.

Mr. Collins asked if there are any goals or ideas for specific uses. Mr. Luetchford stated there is a preliminary grading plan drafted that considers large tabletops for sports fields. The front half lends itself to large areas of sport fields. The drawing does not indicate any certain sport, only that the existing grading leans toward a general layout such as this. There is a potential to bid out to an excavation company for fill to be placed on the site, based on specifications set by the Township. This would save the Township money to bring in fill and level the site. Mr. Nardella stated he is working on a project where the fill that was brought in was not "clean fill" as determined by DEP as engineered fill that would support infrastructure. Mr. Collins questioned why the fill plan would proceed prior to the park plans being completed. Mr. Luetchford stated that the Board of Supervisors recognizes that an opportunity may arise and they want to be able benefit from it if they are able to. Mr. MacIntyre added that the Board is very careful with taxpayer money and will explore every option available. The Township is still doing a lot of sewer work and having to pay to deposit fill when there is a possibility to dump here instead. Mr. Nardella explained some of the requirements for different scenario regarding fill. The delineation of wetlands was done in 2006 but the fill plan was done this year. The drawings represent a concept that is being considered, but it is very preliminary. It will be incumbent on the Township to provide the consultants with needs and programming desires.

Mr. Collins asked for a list of sports organizations, and contact information if it is available. Mr. Luetchford stated there are 33 organizations. Mr. George noted that they are also concerned about individuals too. In order to provide for all of the people as a community park you have to remember the individuals that are not tied to an organization. Mr. MacIntyre noted it is very likely that there are other organizations that we haven't interacted with yet. There are at least a dozen sports.

Ms. Hoachlander stated that traffic on Wenrich Street will be a huge concern. That road is narrow and already dangerous with no sidewalks. The consultants' team includes traffic engineers and will consider widening and turning lanes and other things. The wetlands seem to come all the way out to the road in some places so that may be an additional challenge.

The group mentioned ways to reach out to the public: Lower Paxton website, Lower Paxton Newsletter, SWAN, Paxton Herald, The Guide, and Linglestown Gazette.

Mr. Nardella asked about environmental studies on the site. Mr. Luetchford stated that a Phase I environmental study was done. Many farms have arsenic contamination, so this site will need to be tested at some point. A Phase I archaeology study will also need to be done, as well as a PNDI (Pennsylvania National Diversity Index) study which will look for plants or animals of special concern. PHMC (Museum Commission) will also flag any historic structures. Mr. MacIntyre stated that Devon Moyer has supplied much of the information that the Historic Commission has so if there is anything of significance, they will already have it.

Mr. Collins asked about funding for the purchase of the property. Mr. Luetchford stated it was done with Township money only; the opportunity transpired quickly.

Mr. Collins asked if storm drain system maps are available. Mr. Luetchford offered to put him in touch with the Public Works Department. He asked if there are any chronic drainage problem areas in Koons park. The low area near the lower parking lot gets wet.

Mr. Simone asked if the pool has been determined to stay, or if other options would be considered. Mr. Luetchford stated there is much history tied to the pool. Ms. Whitmeyer asked about the usage of the pool. Mr. MacIntyre stated it has fluctuated over the years. It has been run by a family management team, and the installation of personal home pools has impacted the usage over the years. Ms. Whitmeyer asked what additional facilities are available there now. There are bath houses, a snack bar. The filtration equipment is between the buildings, exposed to the elements. There are no equipment enclosures. There is not a UV sanitation system. There is a granular chlorine system. Mr. Collins suggested the pool options are to get rid of it and not replace it, replace or fix it up where it is, rebuild it elsewhere in Koons, or relocate it to Wolfersberger.

Ms. Whitmeyer noted that there is limited deck space and limited seating; little more than an apron around the pool. The usage figures will be available from the pool management.

Mr. George stated that all of the options suggested should be explored.

Mr. MacIntyre suggested that a listing of the other park facilities would help Simone Collins in their planning.

Mr. MacIntyre described the band shell that used to be located in the western corner by Larue Street. There were Wednesday night movies and other events. He would like to see a hall of fame type of area. It could notate people who have impacted the area or society in general, with some public art. He explained that the Michael Jones baseball field is located at Koons, and it would be nice if some sort of baseball art or recognition could be located here.

Mr. MacIntyre stated that the baseball fields go unused in the summer.

Mr. MacIntyre stated that foul balls end up in the yards across Balthaser Street. Even though the fields were there before the homes, he would like to see something done to alleviate the tension. There is parking along that corridor with children running along that area too.

In Wolfersberger, Mr. MacIntyre would like to see trails in the front area. If the fields will be located there, he is worried about traffic versus the field activities and children.

Mr. MacIntyre pointed out that the Yingst property to the north will be developed with homes eventually. The park needs to be planned accordingly. He would also like to see big open fields designed for multiple uses.

Ms. Wissler stated that Possibility Place is located on the south side of Route 22 and is very very popular, it would be nice to have a park like that on the north side.

A dog park would also be popular. As would areas for mountain biking, skateboarding, and bmx biking.

Mr. Collins suggested interim uses. The paint ball use is an interim use. The biking uses mentioned could be interim uses, however, people assume that once it's there, it will always be there. An emotional response is triggered when the interim use ceases. Interim uses may still be something to consider. With a little mowing, hiking trails could be in use right away. Mr. George agreed that using some part of the land without a big expense is a good idea. Once people start using it even a little bit, they start thinking about the future of the park.

Ms. Leeper asked if Koons is a destination or if people/kids walk/bike there. Ms. Wissler stated it is a mix of both. There is a city bus stop at the park too.

There are no perimeter walkways around Koons, and there are no pathways connecting anything once you are in the park. Walking is one of the biggest recreational uses of any park, and there is nowhere to receive pedestrians at the park. Mr. MacIntyre stated that the entrance at Larue Street is the closest thing to that, as that is viewed as the main entrance.

Mr. Collins asked about civic spaces in the Township for events. Mr. MacIntyre stated these are all held at parks or in schools. He asked if Koons is the location for Township wide celebrations. It used to be the site of fireworks for Independence Day, until recent events caused it to be canceled for the foreseeable future. They also used to hold the Linglestown Fire Carnival at Koons Park. National Night Out for Public Safety has been held here too, but has been at George Park for the last few years.

Mr. Collins asked if there are any activities that are not to be allowed. There is nothing that is completely off the table except hunting/trapping.

Ms. Leeper asked if the basketball courts are used for deck hockey or street hockey, noting there is a curb around it. Mr. Luetchford stated that in the 1960's they had the idea to flood the courts and have ice hockey. There were also dances held there.

Mr. Collins asked about any existing nature study facilities. Each high school has an ecological area, and some park areas have the trees marked. There is a walking path with nature markers at George Park. In Dauphin County, the Wildwood Nature Center is located behind HACC. There is the Ned Smith Center also. Mr. Collins stated that stormwater features can be integrated with educational areas.

Mr. Collins asked if there is an interest in green features, and energy conservation efforts. Wolfersberger could be an ideal location for a solar array. This could be a way to use an unusable area. He asked about the wind in that area. Mr. MacIntyre stated that it is not very good, there is a wind turbine at CD High School and it sometimes powers a scoreboard.

Mr. Collins asked about additional pavilions at Wolfersberger. He noted it is a beautiful area, and could be a venue for small weddings. The former barn site is also an incredible

location, and could be utilized in some way. Ms. Hoachlander agreed there is a need for a large rentable space.

Mr. Collins asked about art shows. Mr. Smith stated there are not many venues to host an art show. The Linglestown Café was one such location, but most art activities are centered around children at this time. One of the interim uses could be an ecological outdoor art display. Mr. Smith noted there is interest in an art venue; Wolfersberger may or may not be that place. There are several very gifted artists in Lower Paxton and at this time, the Arts Council's focus is limited to within the Township.

### **Partners Facts Concepts**

Mr. Collins asked if there are sports organizations or scouts organizations. He asked if there is a need for close-to-home camping facilities, or places for scouts to do projects. Mr. MacIntyre stated that there are many active scouts around and they would definitely use a facility like that if there was one close, because at this time they have to travel to get to a campsite. They used to be able to camp at the Linglestown Fairgrounds which was north of Route 39, near Picketown Road.

Mr. MacIntyre wanted to be able to explore all of the options without limitation.

Mr. MacIntyre would like to see, at any park, a stage or band shell or gazebo. It could be a place for local bands to play in. Mr. Smith stated that the Township runs a summer concert series, and it is set up on the basketball courts, where it lends itself to an amphitheater setting. There are natural terraces at Wolfersberger, and the hillside could be available for seating without actually constructing seating. Mr. Luetchford stated there is a plan for Heroes Grove which is dedicated to fallen heroes, and that is intended to be a landform amphitheater. Mr. Collins asked if there are partners working on that project. Mr. Luetchford stated that the Heroes Grove Committee and State Representative Marsico has been active with this project. Mr. MacIntyre stated that HESCAC (Harrisburg East Senior Citizens Action Committee) was active in the development of the Friendship Center and raised approximately \$750,000. Mr. Luetchford stated that \$2 million was from Township savings and \$5 million was from bonds. Mr. Collins asked about corporate sponsorships. Mr. Luetchford stated there were none. Mr. Collins commented that the facility is incredible. There is a similar center in Plymouth that was built with Waste Management's support.

Mr. Collins asked what sort of timing will be involved in this process. He asked if the Board of Supervisors is open to bond issues or will the money be incremental. He noted it is important to be able to give the public a realistic idea of the timing. Mr. Luetchford stated it will be a long-term phased project. Mr. MacIntyre suggested it will be more than 10 years. Mr. Collins suggested posturing it as a 10-15 year project. Mr. MacIntyre agreed that was fair. He explained that over the years the Board of Supervisors has had much success with not raising taxes on its residents, because it was able to rely on building and development of land for revenues. At this time, there isn't much development, so the Board is being very careful with its budget. Mr. Collins asked if there was land available for light industry. Ms. Wissler stated that

there are some farms that could be developed residentially, but there isn't really any large area available for industry.

Ms. Leeper suggested that these plans can guide the Comprehensive Plan in that the land near the park can be required to direct its open space or recreational requirements towards the Wolfersberger tract, expanding the park. Mr. Collins suggested the same principle could apply if a road would be needed for access to the park land.

Mr. MacIntyre suggested the Committee members and Consultants take a tour of existing parks to be able to get a bigger picture. He noted that one of the issues is that most of the larger park area is to the south and there are a few small neighborhood parks on the north side (using Route 22 as a N/S dividing line).

Ms. Leeper asked about the staff that maintains the park system, noting it is very well maintained and looks great. Mr. Luetchford stated there are around 25 people in the Public Works Department who maintain the parks, roads and many other items.

Mr. George suggested the group should meet before the first public meeting to make sure it can answer questions the public may have. It is important to know the possibilities that exist, not necessarily what the plans will be. He hopes that the whole group of people meeting tonight can all meet again prior to the first public meeting.

Mr. Collins explained that they (Simone Collins) would like to have a committee meeting before each public meeting, usually the same day. If there is a higher level of preparation needed, he suggested that there might be a meeting of the committee without the consultants.

Mr. Collins stated that the first public meeting is to get ideas from the public, not to give them the impression that the committee knows it all already. He would like to gather as many ideas and as much information as possible, and they will all be displayed on cards as they are doing tonight. The second meeting is when preliminary ideas and analyses are discussed. This is when, out of the ideas given, they bring back the ones that seem feasible. The third public meeting is for a draft plan to be presented, and for feedback to be received. The draft plan will also be an agenda item at the second Supervisor meeting prior to the third public meeting. Because of the complexity involved with two parks, there is also a fourth meeting. He noted that the dates listed for meetings are a general timeline, and will be scheduled close to the dates listed, while avoiding conflicts with any other municipal meetings.

Mr. Guise asked the location of the public meetings. Mr. Collins stated that they used the Municipal Center when working on the Greenway Plan, but asked if there is a better location or even several locations that would work best.

Ms. Hoachlander was asked her opinion as a close neighbor of the parks. Ms. Hoachlander stated that the first thing that comes to mind is the traffic and safety issues associated with the street. It is a bad road, and there are already issues with speeding. She also noted that neighbors will be concerned about the wildlife.

Ms. Wissler noted she also lives close, and has been waiting ten years to see this park developed. She is also concerned with traffic.

Ms. Hoachlander suggested that the neighbors won't have a problem with a passive park, but the number of people that are drawn by a park full of sports fields is unnerving. A neighbor had suggested the idea that sports be centered at Koons while Wolfersberger be kept quieter. Mr. Collins noted there was another municipality that chose to put football and soccer on one site and baseball on the sister park.

Mr. Collins stated he wants direction from the Committee by mid-November. This will include a general program. The consultants will give options, and the Committee will direct them. He is looking for direction such as if 4 soccer fields are needed, or 2 little league fields are needed in a certain area.

Mr. George noted that cost is an important part of the process, as well as a good idea of development timing.

Mr. Collins asked for a report showing the usage of the other parks including fields and pavilions.

Ms. Leeper asked if there are parks with existing hybrid fields, such as soccer/baseball fields, or if it is an idea the Township is open to. Brightbill, George and Koons Parks have hybrid fields.

Mr. Collins asked if fields have been unusable during storm events. Mr. Luetchford stated there have been occasions like that. Mr. MacIntyre added that there are some problem spots.

Mr. Collins noted that the Committee's role at the first public meeting is to listen and participate. They can also encourage attendance. The goal of the first meeting is to encourage ideas and not to limit them.

The meeting with the pool managers will be between Lisa Whitmeyer and the pool managers; the Committee is not needed for that meeting.

### ADJOURNMENT

The meeting ended at 9:00 pm. The next meeting of the Master Plan Study Committee is scheduled for October 24, 2012 at 6:00 pm.

Respectfully Submitted,



Michelle Hiner  
Recording Secretary

**Lower Paxton Township**  
**Master Plan Study Committee**  
**Public Meeting**  
October 24, 2012  
Municipal Center Multi-Purpose Room A

Committee Members In Attendance

Stan Smith	Mary Jane Hornung
Tom George	Robert MacIntyre
John Scola	Debbie Hoachlander
Jim Seidler	Lori Wissler
Neal Johnson	Dennis Guise
Chuck Frushon	

Also Present

Brian Luetchford, Staff Liaison  
Watson Fisher, SWAN  
Nick Gehret, Staff  
Bill Collins, Simone Collins  
Peter Simone, Simone Collins  
Sarah Leeper, Simone Collins  
Joe Nardella, GTS Technologies  
Mike Lingo, Architect  
Lisa Whitmeyer, Architect

**CALL TO ORDER & INTRODUCTIONS**

The public meeting of the Lower Paxton Township Master Plan Study Committee began at 7:00 pm on Wednesday, October 24, 2012, in Multi-Purpose Room A of the Lower Paxton Township Municipal Center, 425 Prince Street, Harrisburg, Pennsylvania.

The consultants introduced themselves to the group and Mr. Collins explained that they have done some analysis of what is existing, but there are no plans yet for the parks. He encouraged the group to throw out ideas and ask questions through the entire meeting.

**PROJECT SCHEDULE**

Mr. Collins explained that the objective is to develop a master plan for redeveloping Koons Park and then look for funding for the project, then design and do the engineered plans.

Ms. Leeper provided a tentative schedule of the meetings. The master plan should be finalized in June 2013.

Bob MacIntyre gave a description of the Wolfersberger Tract and history on the Township's acquisition of it. He also emphasized that there are no plans for the parks yet, and that the purpose of the meeting is to find out what the wants and needs are of the groups and individuals that will utilize the parks.

**Simone Collins Presentation**

Sarah Leeper presented many maps of the Wolfersberger Tract including slopes, elevations, and hydrology, and explained there are many features such as the open plateaus, steep

slopes wooded and open spaces and waterways. She noted that the young hardwood forest includes an open forest shrubbery mix, with Black Walnut, Goldenrod, and Sumac.

Mr. Collins explained the card technique they use to solicit ideas and information. There are four categories: goals, facts, concepts and partners.

### **Goals & Facts Ideas for Koons Park**

A representative from CASA explained that his teams use fields at George Park, Lingle Park, and Ranger Fields. The teams are always scattered across the Township and he would like to have a home field or a main location.

A football and baseball coach told the group that from March to July Koons park is constantly in use.

The Yard Sport area is used for bocce ball, horseshoes, and another pavilion. That area is also almost always wet.

The basketball courts were redone 4-5 years ago. The parking areas and pavilions were discussed too, as they are old and would be more useful if they were designed or located differently.

A baseball representative stated that there are occasional foul balls that go out of the park towards Balthaser Street. The children are not permitted to go after those and the organization has a good relationship with homeowner who gets the most foul balls. The baseball/softball/teeball fields are used very hard and never have any downtime, making maintenance difficult.

In August through November there is a mix of fallball, football, basketball and volleyball. The tennis courts are also rented out, and they are in bad condition.

Linglestown baseball has been using some Central Dauphin fields in exchange for maintenance and labor.

The softball teams have a difficult time rescheduling field time if a game is rained out, and the fields do not drain. There had been drainage pipes some time ago, but they have been crushed or filled over time.

The area of Koons Park and Wolfersberger are at the headwaters of Beaver Creek.

Every field or court is used for multiple types of sports because there is such a demand for each sport. They do not have time to rest the fields.

Each sport would like a "home".

There has been a Cricket League in the area since 2004, which has grown to 17-18 teams with over 700 players. Cricket has different needs from a field than other sports. Cricket has been played at Lingle Park, but it is not ideal.

All of the teams work well together and work toward common goals of serving the children and members of the community, but it takes a lot of effort to make it all fit.

Mr. Collins suggested considering usage of school district fields. He also asked how maintenance is worked out. The duties are shared between organizations.

Koons Park is very youth-oriented, and that is still a common goal.

Ultimate Frisbee is played at Lingle Park, but also has different field requirements.

Fields dedicated to certain sports were suggested, and a home for each was also suggested.

Lighted fields would double their availability. The cost of renting lights is very high.

It was suggested to add restrooms on the south side of the park.

There is a handball court at Kohl Park, which is used by Hope and Handball, through the YMCA. Mr. Botero expressed his appreciation for having a location to use for his group.

The question of a skate park was raised. There were plans for a skate park at George Park, but it was converted to inline hockey, and is used frequently. Mr. George wanted to see a safe place for skating and he noted that he visited one in Bethlehem and it was well maintained and there was none of the stereotypical graffiti.

There were suggestions of an amphitheater. Currently, concerts are held on the basketball courts.

When scheduling fields, youth organizations take top priority.

A play area similar to Possibility Place at George Park or Imagination Station at Adams-Ricci Park (East Pennsboro Township) would be very popular on the north side of Lower Paxton Township.

### **Goals & Facts Ideas for Wolfersberger Park**

Linglestown Paintball currently operates on a part of the northern parcel.

There are already wooded areas with paths that naturally lend themselves to basic exploration. Activity stations or exercise stations could be a passive addition to those areas. The northern parcel is better for this.

Safe travel to and from the park is a concern, given the nature of Wenrich Street. There are several abrupt hills with little or no visibility. It is also very narrow with no shoulder. Sound planning and improvements will be essential to the safety of the park users and the neighbors in the area. The intersection of Wenrich Street and Blue Ridge Avenue, and Wenrich Street and Linglestown Road are both difficult intersections already.

Non-vehicular traffic should also be planned for and accommodated.

Planning for several entrances would ease congestion on Wenrich Street. Park access should be considered when plans are developed for the neighboring undeveloped tracts.

Unprogrammed fields would also be a great amenity.

**Goals & Facts**  
**Ideas for Koons Pool**

Mr. Collins suggested the possibility of moving the pool to Wolfersberger. It was also suggested that it needs more “fun stuff” and needed to be enlarged.

It was suggested to have a venue similar to The Barns at Wolf Trap for concerts or performances, as well as receptions and gatherings. Long Park in Lancaster also has many community amenities that would be very popular in this area.

Other ideas included terraced seating and a stage area, a dog park, a path or area to hold a 5K, a celebration venue, and scouts camping facilities.

**ADJOURNMENT**

The consultants encouraged those in attendance continue to think about possibilities at both parks and email or call any time.

The meeting ended at 8:30 pm. The next meeting of the Master Plan Study Committee is scheduled for November 20, 2012 at 6:00 pm in Room 106 of the Friendship Center.

Respectfully Submitted,



Michelle Hiner  
Recording Secretary

## PUBLIC MEETING 1 FEEDBACK - 10.24.2012

### PARTNERS

CAPITAL AREA SOCCER ASSOCIATION  
(CASA)

LINGLESTOWN BASEBALL ASSOCIATION  
(LBA)

LINGLESTOWN FOOTBALL ASSOCIATION  
(LFA)

PENNSYLVANIA UNITED CRICKET  
ASSOCIATION (PAUCA)

ULTIMATE FRISBEE LEAGUE

SKATE BOARD ORGANIZATION

LOWER PAXTON PARKS AND RECREATION  
DEPARTMENT (LPP&R)

LINGLESTOWN SOFTBALL ASSOCIATION  
(LSA)

HOPE in Handball

ROCKFORD HEIGHTS NEIGHBORHOOD

WHISPER WOODS NEIGHBORHOOD

WARREN AVE / ELMER AVE / JEROME BLVD /  
NASSAU ROAD NEIGHBORHOOD

### KOONS FACTS

POOR DRAINAGE INFRASTRUCTURE

KOONS MEMORIAL POOL CONFINED NEEDS  
SPACE TO EXPAND

### WOLFERSBERGER FACTS

TOWNSHIP WILL TAKE FULL OWNERSHIP OF  
WOLFERSBERGER PARK IN JANUARY

### SPORTS FACTS

LPP&R GIVES FIELD PRIORITY TO YOUTH  
LEAGUES

LPP&R HAS A FIELD RESERVATION PROCESS  
THAT REQUIRES TEAM ROSTER

KOONS HAS A YOUTH FOCUS

NEED MORE FIELDS

SCHOOL FIELDS NOT TO SAFETY  
STANDARDS

NO TIME TO REST FIELDS

LEAGUES COMPETING FOR FIELD TIME

TEENER FIELD HIGH USE LOTS OF FOUL  
BALLS

T-BALL FIELDS AND KOONS PARK ROAD  
PARKING AREA FLOOD

PONY FIELD FOUL BALLS LESS (COACHES  
RETRIEVE)

SCHOOLS USE TENNIS COURTS

TENNIS COURTS NEED REHABILITATION

VOLLEY BALL COURTS NEED REHABILITATION

NEED LONG TERM TOWNSHIP WIDE FIELD  
PLAN

## PUBLIC MEETING 1 FEEDBACK - 10.24.2012

### TRAFFIC FACTS

CENTRAL NEIGHBORHOOD SAFE FOR  
LARUE STREET TRAFFIC DIFFICULT ACCESS  
WALKING  
HEAVY TRAFFIC ON WENRICH  
HEAVY TRAFFIC ON WENRICH  
BALTHASER HIGH VOLUME TRAFFIC NO  
SIDEWALKS  
MOUNTAIN ROAD DIFFICULT TO CROSS  
NORTH BOUND WENRICH TRAFFIC SPEED

### GENERAL FACTS

AMPHITHEATER PLANNED AT HERO GROVE  
PARK

### KOONS CONCEPTS

KEEP KOONS YOUTH ORIENTED  
LIGHTED FIELDS  
SEPARATE FOOTBALL & SOFTBALL  
HOME PARK FIELDS  
LIGHT FOOTBALL FIELD  
RESTROOM NEAR YARD SPORTS  
SKATE PARK  
AMPHITHEATER / BANDSHELL IN  
NORTHWEST OF KOONS  
THEME PLAYGROUND  
FOGGERS IN PLAY AREA

### WOLFERSBERGER CONCEPTS

MULTIPLE ACCESS POINTS  
NOTE FUTURE ACCESS INTO  
WOLFERSBERGER ON OFFICIAL MAP  
MINIMIZE LIGHT AND NOISE POLLUTION  
NATURE EDUCATION THEMED TRAILS  
FITNESS JOGGING TRAIL  
TRAILS IN NORTHERN AREA  
TRAIL-BIKE TRAILS  
5 K TRAIL COURSE  
DISC GOLF  
DOG PARK  
UN-PROGRAMMED GREEN SPACE  
PERMACULTURE (EDUCATIONAL FOOD PREP  
/ CANNING)  
STEPPED SITTING INTO SLOPE (LONG PARK)  
ACCESSIBLE WITH NO VEHICLES  
PARK SAFE AT NIGHT CLOSED SECURITY"  
CELEBRATION" RENTAL VENUE  
PLAYGROUND

### GENERAL COMMENT

BETTER PUBLICIZE PUBLIC MEETING

**Lower Paxton Township  
Master Plan Study Committee  
Meeting  
December 13, 2012  
Municipal Center Multi-Purpose Room A**

Committee Members In Attendance

Stan Smith	Mary Jane Hornung
Tom George	Robert MacIntyre
John Scola	Debbie Hoachlander
Jim Seidler	Lori Wissler
Neal Johnson	Dennis Guise
Chuck Frushon	

Also Present

Brian Luetchford, Staff Liaison  
Watson Fisher, SWAN  
Bill Collins, Simone Collins  
Sarah Leeper, Simone Collins

**CALL TO ORDER**

The committee meeting of the Lower Paxton Township Master Plan Study Committee began at 6:00 pm on Thursday, December 13, 2012, in Multi-Purpose Room A of the Lower Paxton Township Municipal Center, 425 Prince Street, Harrisburg, Pennsylvania.

**KOONS PARK  
CONCEPT PLANS: DISCUSSION**

Ms. Leeper presented 3 concept plans for Koons Park and emphasized that these plans are only conceptual at this point. Each concept plan idea or part could be mixed with other parts from other plans, to make the best fit. If there is something that does not fit into Koons Park anymore, it may be located in Wolfersberger Park. There are no concept plans for Wolfersberger until later. Ms. Leeper noted that there was a lot of feedback offered, and one of the biggest ones is traffic. Some other major areas of interest are trails, and keeping Koons Park youth-oriented. One thing that is missing is a pedestrian path, so that will be included in the concepts.

As Ms. Leeper explained each of the concepts, one question was about drainage. The majority of the park will need under-drains, pieced together as the park is developed. The trunk pipe will have to go in first, then the drain lines can be tied in as the project builds. Another question was if the table could be raised to put drainage pipes under the walkway. The existing pipe is most likely no longer functional. The southern parking lot is shown in concept #1 as a stormwater management area. The study done about the pool shows it still has a good amount of life left to it.

Lighting was brought up. If the ball fields are lit, the teams can play and practice many more hours and not feel so squeezed for field time.

Cost of the improvements was questioned. Ms. Leeper noted that the costs are not examined until the needs are studied, so the projects can be prioritized and then funding can be worked out. A member asked how it will be decided which fields get moved at what time. Mr. Luetchford noted that at this time there is no money for these park improvements, but there was

an opportunity to begin the planning now, so the Township will be ready with a plan when money becomes available. The committee members recessed briefly while interested residents gathered for the Neighborhood focus group meeting.

### **FOCUS GROUP MEETING - NEIGHBORS**

The meeting began at 7:00 pm with introductions and a brief overall explanation of the project. Ms. Leeper noted that some of the bigger ideas so far have been trails and other passive uses, how to take advantage of the unique topography and how to handle concerns about lighting and noise.

A neighbor expressed concern over traffic since it is already so bad, and adding more will be that much more unsafe. High schoolers speed through the area going to Central Dauphin High School. Another neighbor agreed and noted that to try to walk in the area is to take your life in your own hands. Another neighbor agreed, commenting on the two big bumps on Wenrich Street where you cannot see the other side. A terrible intersection is Wenrich Street and Blue Ridge Avenue. It was also noted that Linglestown Road at Wenrich Street is also a very difficult intersection.

A neighbor commented that there is no passive park in the area, where you can walk or sit on a bench and simply enjoy nature. He noted that if the park were developed for passive uses, it would dramatically cut the need for money for things like leveling, road improvements, maintenance, lights and parking. He also said that there are many people who would enjoy having a place to actually be able to sit and relax and enjoy nature. He questioned why the perfect setting for a passive park would be undone for more ball fields.

Some general ideas could be to locate tennis and other low-traffic-generators at Wolfersberger Park mixed with the passive uses; move a group of some high use/high-traffic generators to the new park.

Mr. Collins noted that the only vehicular way into the park at this time is Wenrich Street, but in the future there may be other connections. It may be wise to suggest connections through future developments to get a safer, more optimal park entrance.

A neighbor noted that the amount of land to be developed and the traffic that will come with it is a good reason to keep Wolfersberger Park passive.

The ideas of a skate park or paint ball were raised. A skate park does not generate a lot of traffic, and the paint ball use has not been a problem. A neighbor noted that she has seen a vehicle pass the paint ball entrance, stop, back up to get to the driveway. With the way the roadway rolls over the blind hills, this could be terrible.

A neighbor asked if there are ideas for the land besides a park. Mr. Luetchford stated that the land was purchased as park land; the question is how to develop the park.

Ms. Leeper noted that the initial reports from the traffic engineer agree with what all the neighbors already know; the traffic on Wenrich Street is busy.

A neighbor noted that the dog park group has funds available immediately to invest in a dog park at Wolfersberger Park. They do not generate more than a few cars at a time, but they do see constant use of the park they have now.

The question of the pool was raised. Mr. Collins suggested that outdoor pools are not as prominent as they had been, but an indoor pool would get used 12 months of the year.

Tricia Heisy commented that the Wolfersberger family is very glad to see the land be used for a park and she urged the group to consider it for passive recreation. Her aunt and uncle loved the land and the nature associated with these two tracts.

A comment was made that a passive park is easier to develop, quicker and costs less. It is also something that the greater area does not have.

It can be recommended that the developer of the adjoining land locate their required open space along the park land. Some discussion wound around the potential development of surrounding land.

A neighbor noted that Longs Park in Lancaster is a good example of a park with a mix of passive and active recreation. It was noted that there is a skate park in Bethlehem that spent five years in the planning stage.

A question was asked about the time line of the project and funding. There is no time frame set, in part because there is little to no money available. The current governor has also decreased recreational spending. Even if there were cash available, a 90 acre project is a huge undertaking.

There is an interest in a county-wide sports complex, but it would need to be more than 90 acres.

A neighbor thanked the Township for purchasing the land, so that it can be developed into something other than more houses. Others agreed.

### ADJOURNMENT

The consultants asked that those in attendance continue to think about possibilities at both parks and email or call any time.

The meeting ended at 8:30 pm. The next meeting of the Master Plan Study Committee is scheduled for January 24, 2013, at 6:00 pm in Room A of the Municipal Center.

Respectfully Submitted,



Michelle Hiner  
Recording Secretary

## **Key Person Interview Notes**

### Koons Wolfersberger Parks

**George Wolfe** (with Brian Luetchford attending)

Manager, Lower Paxton Township

May 31, 2013 10AM

The following notes reflect the recommendations of the Lower Paxton Supervisors, as conveyed by Mr. Wolfe, LPT Manager.

#### Wolfersberger Park

1. Additional Fields – the supervisors are interested in providing for the maximum amount of multi-use fields as possible at Wolfersberger Park. The proposed design that creates graded terraces is acceptable on both northern and southern sections of the park, and the plan should identify all field areas as “multi-purpose” to ensure public understanding of their flexibility of future uses.
2. Community Gardens – are considered less essential as a new use at Wolfersberger, since most residents surrounding the park have their own grounds to garden. This use may be eliminated entirely, or this location can be identified as an option for a community garden, or the use can be moved from the proposed southern side to the northern side in future design phases. The terrace that was proposed as a community garden should be identified as an additional multi-use field. Stormwater areas will need to be identified conceptually.
3. Playground – relocate to the north side of the southern parcel (between tennis and multi-use field)
4. Dog Park – is considered a “flexible” use that can be relocated from the proposed southern side to the northern side, if needed. The use is also considered a function that can be fairly easily relocated sometime in the future - even after it is built, since the investment is largely in fencing. It is understood that the next phase of site selection will include community stakeholders – who will be instrumental in funding the improvements.
5. Graphic Plan – Alternative uses and alternative areas for uses at Wolfersberger. These can be depicted in the graphic plan as “ghosted” or “dotted” delineations to enable the viewer to understand options that can be elected by the Township in the future, as the final design of park elements proceed.
6. Graphic Plan – Identifying proposed elements at Wolfersberger
  - Identify proposed areas of active and passive uses – by labeling
  - Identify proposed access and parking improvements
  - Identify environmentally sensitive areas
  - Identify areas for potential additional future development
  - Identify (ghosted) additional second softball field at Wolfersberger
  - Identify woodland areas of (Wolfersberger) on northern side used for Paintball
  - Identify overhead power lines graphically, and label
  - Add in future connections to park that were previously identified.

## Koons Park

7. Costs of Proposed Improvements – The estimated costs were considered more expensive than previously envisioned to rehabilitate the park. Specifically cited was the construction of a new outdoor swimming pool. Costs are to be estimated by phases in the final report.
8. Proposed Swimming Pool Replacement – LPT wishes that the plan clearly identifies that any future redevelopment of the existing pool facility will be the responsibility of a private club or non-profit as the lead partner – with LPT support to be negotiated.
9. Private Property – Check location of proposed walking path across private property (near the location of the existing Teener field home plate.)
10. Private Property – Check location of proposed parking on private property (near Larue.)
11. Graphic Plan – Identifying proposed improvements at Koons
  - The Pool and support facilities should be clearly identified graphically and narratively that the concept for this area of the park will be developed by a non-profit partner, in cooperation with LPT.
  - The pool should be shown graphically as the existing facility – to be maintained as long as possible by the current lease partner. A graphic inset of the redevelopment concept can be included outside the primary graphic plan.
  - Do not show field lighting on graphic plan. The narrative will describe the considerations and options for future field lighting on the northern end of the park.
  - The paintball court areas at Wolfersberger are to be depicted on the graphic plan as part of a multi-use field on the north side.

## General

### 12. Development Phases

- Eliminate specific years, but provide general timetable.
- Eliminate Phase 5 (as the new pool development.) A new pool will have an independent development schedule based on a partner group funding plan.

## **Mr. William Seeds, LPT Supervisor**

Via telephone 7-12-13 11:45am

1. William Collins spoke with Mr. William Seeds as a Lower Paxton Township supervisor and former Parks Board member regarding his ideas on the township master plan for Koons and Wolfersberger Parks.
2. An overriding issue for Mr. Seeds was the removal of existing features in Koons Park and their potential future relocation to Wolfersberger Park. Costs were a primary concern.
3. Specifically, Mr. Seeds suggested that the salt dome, the tennis courts, and two softball fields that are identified as elements to be eventually moved to Wolfersberger - should not be moved.
4. Mr. Seeds expressed that the salt dome location is more centrally located at Koons to population densities, and that relocation to Wolfersberger would cause more mileage to be driven for road maintenance.
5. Mr. Seeds said that the tennis courts had not been maintained over the years, but that they could be rehabilitated in the existing location, rather than replacing them with new courts at a future time at Wolfersberger.
6. The two softball fields were also recommended not to be moved from Koons to Wolfersberger. The fact that one field currently shares ground with a football practice field was discussed.

7. Mr. Seeds acknowledged the need to make drainage improvements at Koons Park. He disagreed with the concept of moving the southern parking area at Koons Park Road more northward to allow an area at the lowest southeast corner for stormwater facilities.
8. He agreed with the general approach to make all parking improvements at the perimeter of the park.
9. Mr. Seeds recommended that the township planning board and recreation board seek to acquire a vacant property to the west of Koons Park (near the cemetery) to increase parking for the park.
10. Mr. Seeds was in favor of creating angle parking along the park perimeter off Raspberry Lane.
11. Mr. Seeds expressed concern that the master plan combined both parks as a planning approach.
12. At Wolfersberger Park, Mr. Seeds suggested that additional fields should be constructed in addition to those as shown on the draft plan.
13. Mr. Seeds expressed concern that whatever funds are used to make park improvements are taxpayer money.
14. The idea of using township roadway improvement funds for some of the roadway and parking improvements around the parks was discussed, and Mr. Seeds said that there was currently no money available in the budget for such work.
15. The idea of negotiating a development strategy early with DCNR was discussed as being very important – specifically negotiating the approval to have the fill material and grading work in the park (envisioned to be part of the township storm sewer upgrade project) to be eligible as a matching value to a DCNR grant application – even if the two parts of the project are not in the same year. With this agreement, an early park improvement can be accomplished with in-kind match (no cash) from Lower Paxton – combined with cash from DCNR.
16. The difference between a master plan and project design was discussed, including that fact that a plan is advisory and needs to be revisited critically each time a specific project is undertaken. It was acknowledged the money available at any time and the source of the funds would affect the scope and timing of any specific improvements. The final discretion of any improvement decision resides with the supervisors at that future time.
17. Mr. Seeds expressed disappointment with not being contacted earlier in the planning process. Mr. Collins apologized and took responsibility.
18. Mr. Collins sent the draft interview notes to Mr. Seed for review and comment.

### **Richard Yingst**

Landowner near Wolfersberger Park

#### Key Person Interview

February 28, 2013 2:30pm

At LPT Friendship Center

In attendance were Richard Yingst, William Collins, Brian Luetchford, and Stephen Fleming. The concept of the “super” block analysis was used to discuss potential future development of the properties surrounding Wolfersberger Park – specifically how the township and private developers might find ways to cooperate in the planning and construction of new infrastructure and neighborhoods that connect people physically and environmentally to the park. Mr. Yingst was supportive of the Township initiative to plan proactively for the park and for potential future development.

The "Superblock" concept plan was used to show the potential to create a new park entry drive entering from Weinrich Street opposite Warren Avenue. This concept would require a right-of-way from Mr. Yingst to allow the Township to build the new park entry drive as an alternative to using the existing Iru Lane as the park entry due to its limited sight distances from either direction on Weinrich Street. Mr. Yingst was not opposed to speaking in the future with the Township supervisors and planning board about how such a park entry road could also benefit future plans to develop the private property.

**Douglas Kepler**

Past President, Koons Memorial Park Swim Club  
June 31, 2013 (2:00 PM)  
At L.P. Friendship Center

RE: New Pool Construction in Koon's Memorial Park

William Collins of Simone Collins requested a meeting with Doug Kepler for May 31 at 2:00 PM. Participating in the meeting were Douglas Kepler, William Collins and Brian Luetchford.

Doug Kepler shared the history of the pool and its take-over by the current Board in 2008. Kepler reported the past 6 season's challenges as well as the successes. Kepler added, although the Board has maintained both the infrastructure of the 52 year old pool and adequate finances the current Board has expressed interest in developing a plan to transfer some or all of the Board positions to new Board Members. Koon's Memorial Park Swim Club has entertained the idea of incorporating the interest of the Piranha Swim Team families.

William Collins shared the current rendering of Re-Developed Koon's Park which includes a proposed pool design. The pool design provides for a lap pool as well as an off-setting and connecting recreational pool. The recreational portion of the pool has a large zero depth entry.

Kepler was informed that although Koon's Memorial Park will be greatly transformed there are no current plans nor future plans allocating funds for the construction of a new pool. The Township wishes to keep the operation of the Pool a separate entity. Collins suggested that Koon's Memorial Park Swim Club continue to lease the property from the Township for a \$1 or for whatever agreement that has been practiced over the years. The Koon's Memorial Park Swim Club would retain ownership and operation of the Pool Facilities. Lower Paxton has no interest in becoming the owner and operator of Koon's Pool.

It has been well noted that the pool has been very well maintained considering its age. However, based upon the age of the pool plans should be made now in order to prepare for its replacement. The logic was offered, "Since the plans for the reconstruction of the Park is being refined and the rendering of the Park shows the existing pool location as the potential site for a new pool, it would be best to begin a Capital Fund Campaign now." The Capital Fund Campaign would be conducted solely by the Koon's Memorial Park Swim Club."

DCNR (Department of Conservation & Natural Resources) will require a Feasibility Study prior to offering any of their grant money for construction. If we act now portions of the Feasibility Study Requirements may be waived by DCNR since some of the architectural planning has

been completed. Lower Paxton Township employed a sub architectural firm, Wallover Aquatic Design Group (contact is Ted Wallover, 717-295-7754, 941 Wheatland Ave., Lancaster, PA 17603). The Wallover Aquatic Design Group conducted the Pool assessment section of the Koons Park plan. Koon's Pool is eligible for a DCNR Grant (C2P2 program) for a full pool feasibility program

Collins and Brian Luetchford strongly recommended that Koon's Memorial Park Swim Club begin to assemble a larger group in order to conduct a Capital Finds Campaign. Collins advised that the Board delegate responsibilities attached to a Capital Funds Campaign. The First Phase of the Campaign would be to finance the Pool Feasibility Study required by the DCNR. The Pool Feasibility Study may cost \$30,000 - \$45,000

Suggested:

- The Pool to raise \$10,000 from contributions  
(Suggested to contact Natalie Smith's "The Pittsburgh Foundation")
- DCNR grant money match, \$10,000  
DCNR's Planning Grant application is called the C2P2 Application
- Lower Paxton Township match, \$10,000 – to be determined by Supervisors

Collins and Luetchford recommend that Koon's Memorial Park Swim Club consider incorporation as a 501(c)3 business to both gain contributions and to better protect the current and future Board Members. Brian Luetchford suggested that we contact Attorney Bob MacIntyre (of the Parks & Rec Board) to help attain the 501(c)3.

Lower Paxton Township and Simone Collins will provide the Koon's Memorial Park Swim Club a copy of the Park Planning Map in Jpeg after the June 18<sup>th</sup> Township Meeting. Doug Kepler & Barby Warfield (2 only) to attend the June 18<sup>th</sup> Township Meeting. The purpose of the meeting, "The Presentation of the Park Draft Plan" Note, Brian said that the start time would be 6:00 PM.

Koon's Memorial Park Swim Club will meet with the Piranha Swim Team Families after the June 18<sup>th</sup> Township Meeting. The Township cannot release the Planning Map prior to the June 18<sup>th</sup> Township Meeting. The Township Meeting to be held on July 16, 7:30 PM will be for the television viewing audience.

NOTE: Doug Kepler suggested that an additional tie-in to the Water Main along Balthaser Street be made to the pool so that the fire hose used to fill the pool each year will not cross over the planned new roads in the park nor flood recreational areas. William Collins expressed his interest in adding this recommendation to the plans. Brian Luetchford agreed.

Meeting Adjourned at 2:45 PM.

FYI Koon's Memorial Park Swim Club was incorporated and recorded by the Commonwealth of Pennsylvania on February 15, 1960. It is filed as a **Nonprofit**, and in compliance with the requirement of Article II of the Nonprofit Corporation Law, approved May 5, 1955, P. L. 289, as amended. To date there are no records that would indicate the Pool's first season of operation. Best guess would be the Summer of 1961.

**John DiSanto, President**  
Triple Crown Corporation

July 31, 2013 9:30am

Mr. DiSanto is an area real estate developer who has done major business within Lower Paxton Township. He said that considered the Koons-Wolfersberger Parks plan a benefit for the community. He has experience developing parks in Lower Paxton Township as elements of his residential developments, including Straywinds Farm that is planned, designed and approved for construction in early spring 2014. He also constructed the Township's "Possibility Place." The idea of future development of the rural parcels surrounding Wolfersberger were discussed, including the planning study for future park access and additional natural and recreation lands being added to Wolfersberger in the future. The Koons "phasing" plan and the Wolfersberger "superblock" study were forwarded to Mr. DiSanto.

**Michael Betz, President**

Linglestown Football Association

July 31, 2013 10am

Mr. Betz grew up in Lower Paxton and played football and now runs the youth football League that practices and plays at Koons Park. Mr. Betz likes the concept to consolidate all football activities at the northern side in the area of the current football field. He said that a combined practice area would allow different age groups to run drills together. He said that the teams play into November and Saturdays JV plays and Varsity plays on Sundays.

He said that the Township does well maintaining the fields and he has concerns that the new plan provide storage area, if the existing storage space at Koons is revised. (The plan calls for maintaining the existing storage building.) Mr. Betz said that he favored the new plan for Koons including the proposed public spaces within the complex of sports fields, and the sense of community pride that was demonstrated for the parks.

**Carol Johnson, Ed.D. Superintendent**

Central Dauphin School District

July 31, 2013 10:30 am

Ms. Johnson has worked in the area schools, including Linglestown Middle School and Central Dauphin High School before assuming the district superintendent position. She was able to review the proposed park plans and supports the Township initiative.

There is no pool at the Central Dauphin High School, but there are many other recreation facilities that are in demand by organizations during the summer and school year, including: softball leagues, baseball camps, etc. She said between the school teams, the marching band, and outside organizations, the high school facilities are completely booked.

Ms. Johnson mentioned the issues surrounding the school – such as periodic flooding and no sidewalk improvements – which create temporary and long-term challenges to students accessing the school . She mentioned that she is seeing “generational” changes with the students in recent years – specifically with their willingness to embrace “green” initiatives – such as local students wishing to walk or bike, rather than ride a bus or be driven to school. A primary issue facing these healthy student initiatives is safety – with many roads not even having shoulders.

The LPT Greenways plan was discussed, as well as the PennDOT “Transportation Alternatives” program that can help fund “safe routes to school” sidewalk, trail and intersection improvements. The concept of future development of existing rural parcels surrounding Wolfersberger Park was discussed briefly, to acknowledge that the Township could seek developers to install walkway and trail improvements that could benefit local children in getting to school. The concept of using these future pedestrian links to Wolfersberger Park for High School cross-country training/races was also discussed.

**Sam Hartley, President**

Softball Association of Linglestown

July 31, 2013 11 am

Mr. Hartley is the volunteer responsible for the Girls softball league that currently practices at Koons Park. He understands that there is overcrowding at Koons and is open to moving the softball play to Wolfersberger in the future – provided certain needs are met. Mr. Harley’s primary concern is that if the softball fields are going to be relocated from Koons to Wolfersberger in the future, there needs to be at least two fields in the same place – side by side. Concession uses are important to the organization in terms of fundraising. The concept for Wolfersberger Park includes two possible concession locations near active fields and play areas.

He said that the organization can fund itself provided it has a concession, and that the volunteers are capable of performing the field maintenance. The league does need an equipment shed close to its fields. Mr. Hartley complemented the Township and said that he would help support what was best for the community interests.

**Gary Smith, President**

Linglestown Baseball Association

July 31, 2013 11:30

Mr. Smith expressed concerns with the plans for Koons Park plan, including the consolidation of the football fields to the northern side. He questioned the need to reorient fields as they are rehabilitated. He expressed concern that public tax money was going to be used to fund the improvements.

**“Superblock” landowners** adjacent to Wolfersberger Park tract

Lower Paxton Township Building

June 27, 2013, 5:30pm

Large parcel landowners surrounding the Wolfersberger Park tract were contacted by mail and invited to a group meeting to discuss the concept plans and any concerns about the future park. The following persons were contacted. The names in **bold** identify the people who attended the meeting.

Fishing Creek Valley Assoc.

Richard Yingst Trust

Barbara Moore

Diane Brownold

Salem Essis

Kathleen Keough

Annette Carricato

Frank Doric

Louise Doric

Eshenhaurs

Sandra Firestone

Stephen Hepler

Barry Rode

Clarence Baker

Raymon Walmer

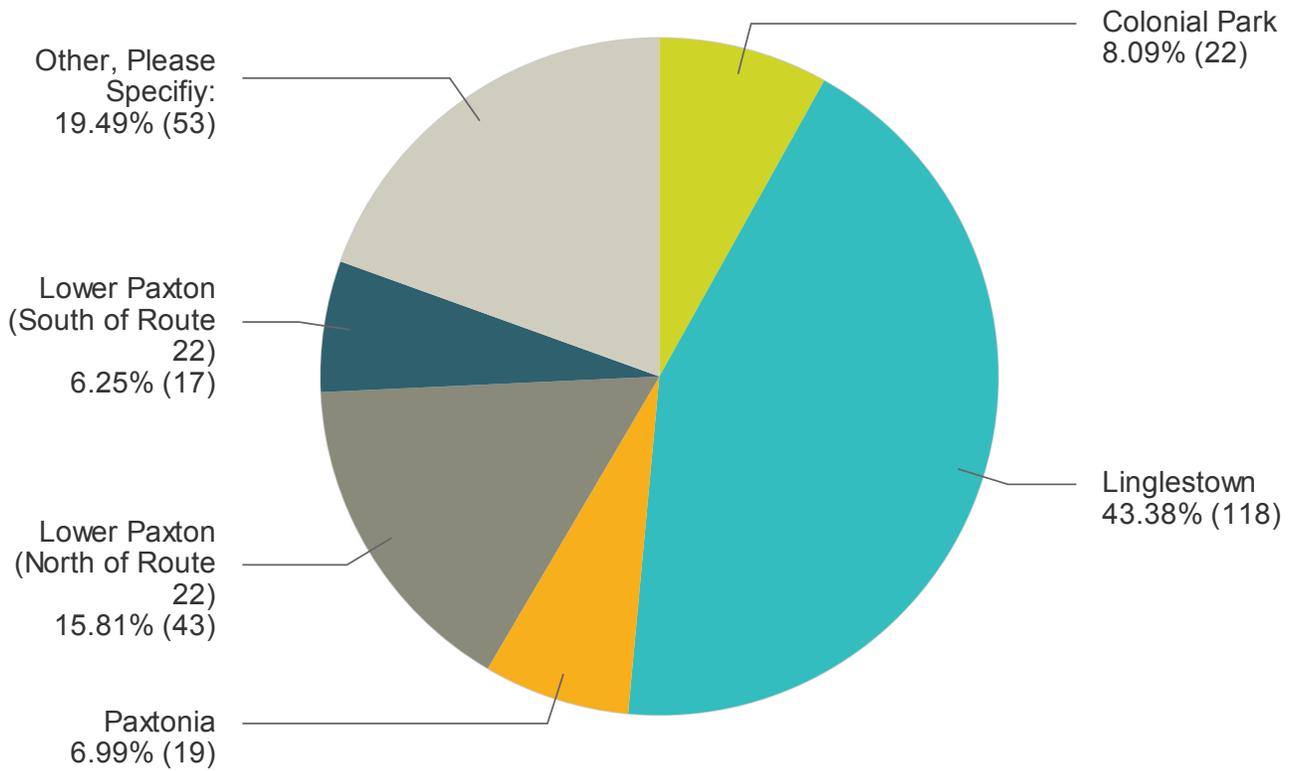
Barry Walmer

The group in attendance was supportive of the Township initiatives to acquire and develop the park for public uses. If there was a single common sentiment, it was that the park would be developed as a completely “passive” park – without active recreation fields. Attendees understood the complexity of providing for the overall changing needs of the Township and the need to consider Wolfersberger Park as an option to existing over-crowding of active playfields in Koons Park.

*Chris Rode could not attend the meeting, but called to question the possibility of a new driveway displayed on the concept plan the going through his mother’s property. It was explained that the concept plan was to show where future connections to Wolfersberger Park might happen if adjacent properties were developed. Mr. Rode expressed his family support for the Township efforts – saying “it was a great idea” to acquire the property and develop it as a municipal park. He understood the concept for future secondary access to the park. He also recommended that the plan on the Township website was grainy resolution.*

### Q1 Where do you live?

Answered: 272 Skipped: 6



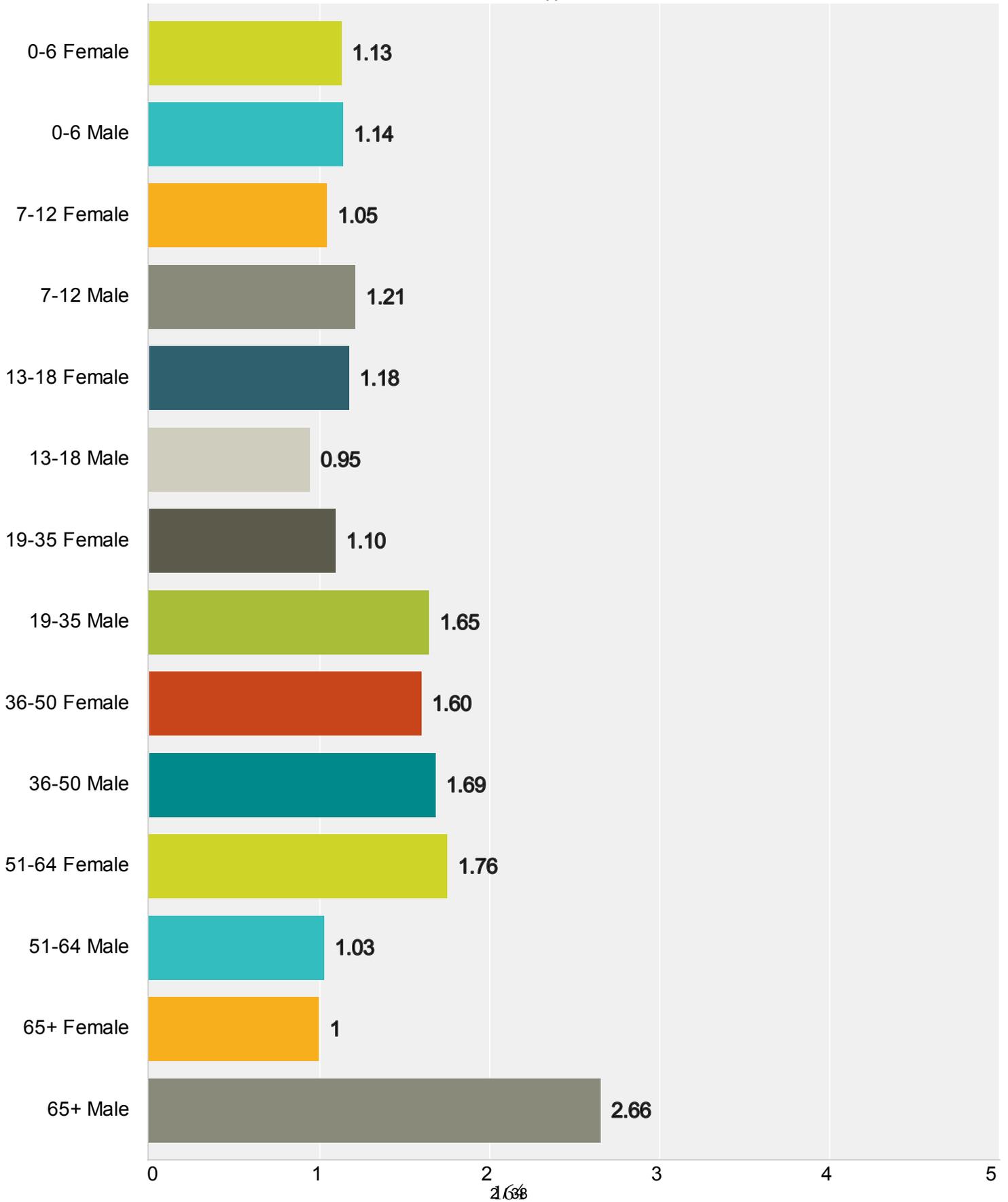
Other, Please Specify:

- 6500 Block Blue Ridge Ave
- central daughin
- Colonial Hills
- dauphin
- Dauphin
- Fishing Creek Valley ( right off Blue Mt. Rd.)
- Forest Hills
- Forest Hills area
- Harrisburg
- Highspire
- Hummelstown
- Lancaster
- Lower Paxton (Valley Road)
- Middle Paxton
- Mountindale
- North side of Linglestown Road
- On wen rich st.
- Susquehanna
- Susquehanna
- susquehanna
- Susquehanna township

- Susquehanna Township Ward 6
- Susquehanna Twp
- Susquehanna Twp.
- Susquehanna Twp.
- Susquehanna Twp. Crooked Hill Rd.
- susquehanna twp. near penbrook
- Susquehanna twsp
- Swatara Twp
- Wedgewood Hills (Susquehanna Twp.)
- West Hanover
- West Hanover Township
- West Hanover township
- West Hanover Twnshp by Mt View Pool
- West Hanover Twp
- West Hanover Twp near Agway
- West Hanover Twp, on Fox Hill Road
- West Hanover Twp.
- West Hanover Twp.
- West Hanover Twp.
- West Hempfield Township, Lancaster County

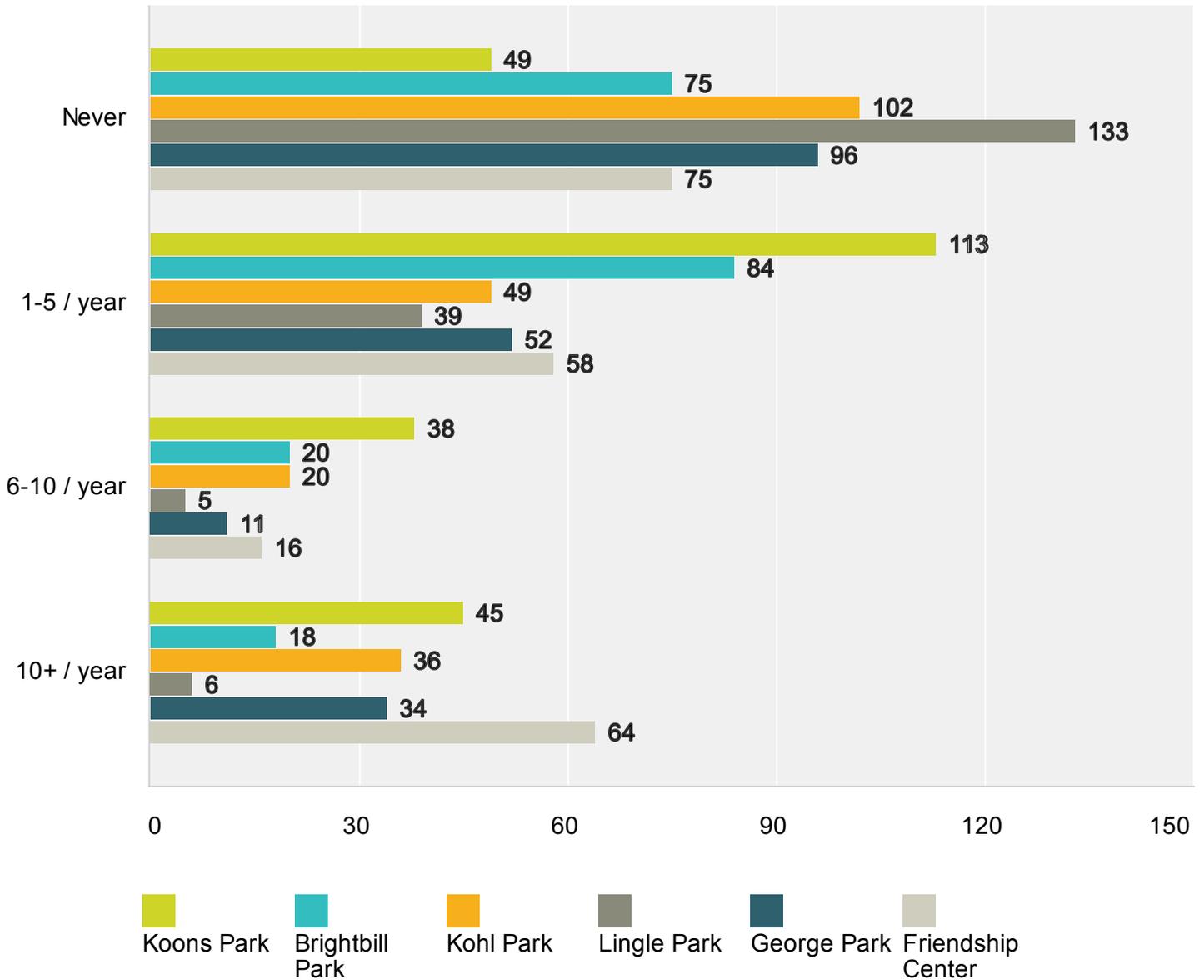
**Q2 Please indicate the number of people living in your household, including yourself, according to age and gender. (Mark number(s) in appropriate locations)**

Answered: 268 Skipped: 10



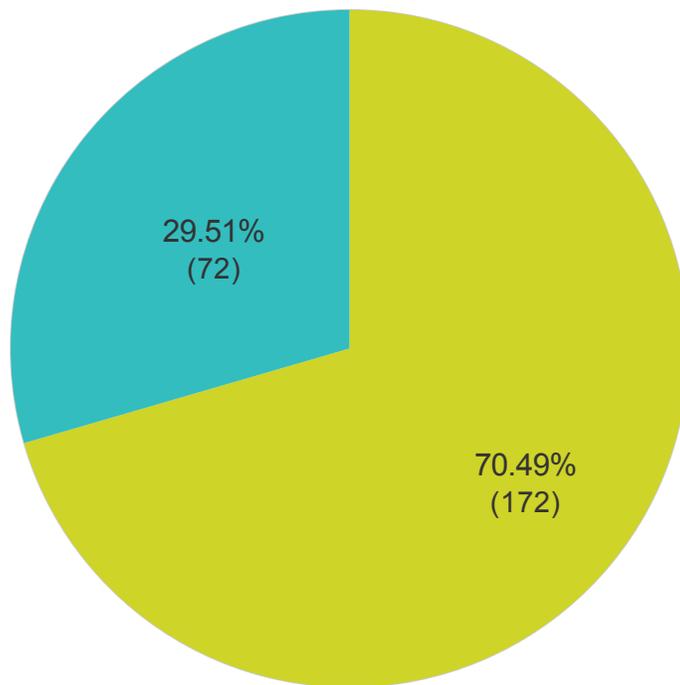
### Q3 How often do you are a member of your household use the following Township Park and Recreation Facilities?

Answered: 268 Skipped: 10



### Q4 In the past 12 months, has any member of your household visited Koons Park?

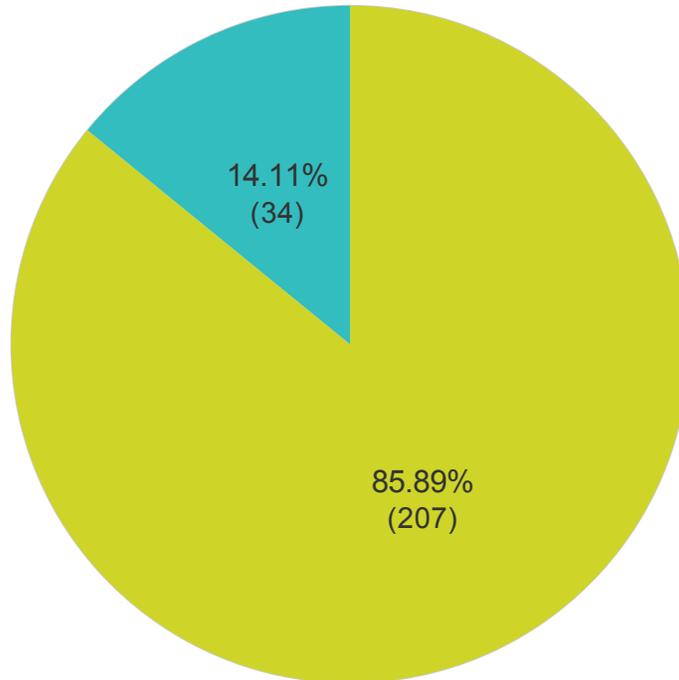
Answered: 244 Skipped: 34



Yes No

**Q5 Do you or any members of your household belong to a sports team or other recreational group that regularly uses the facilities at Koons Park?**

Answered: 241 Skipped: 37



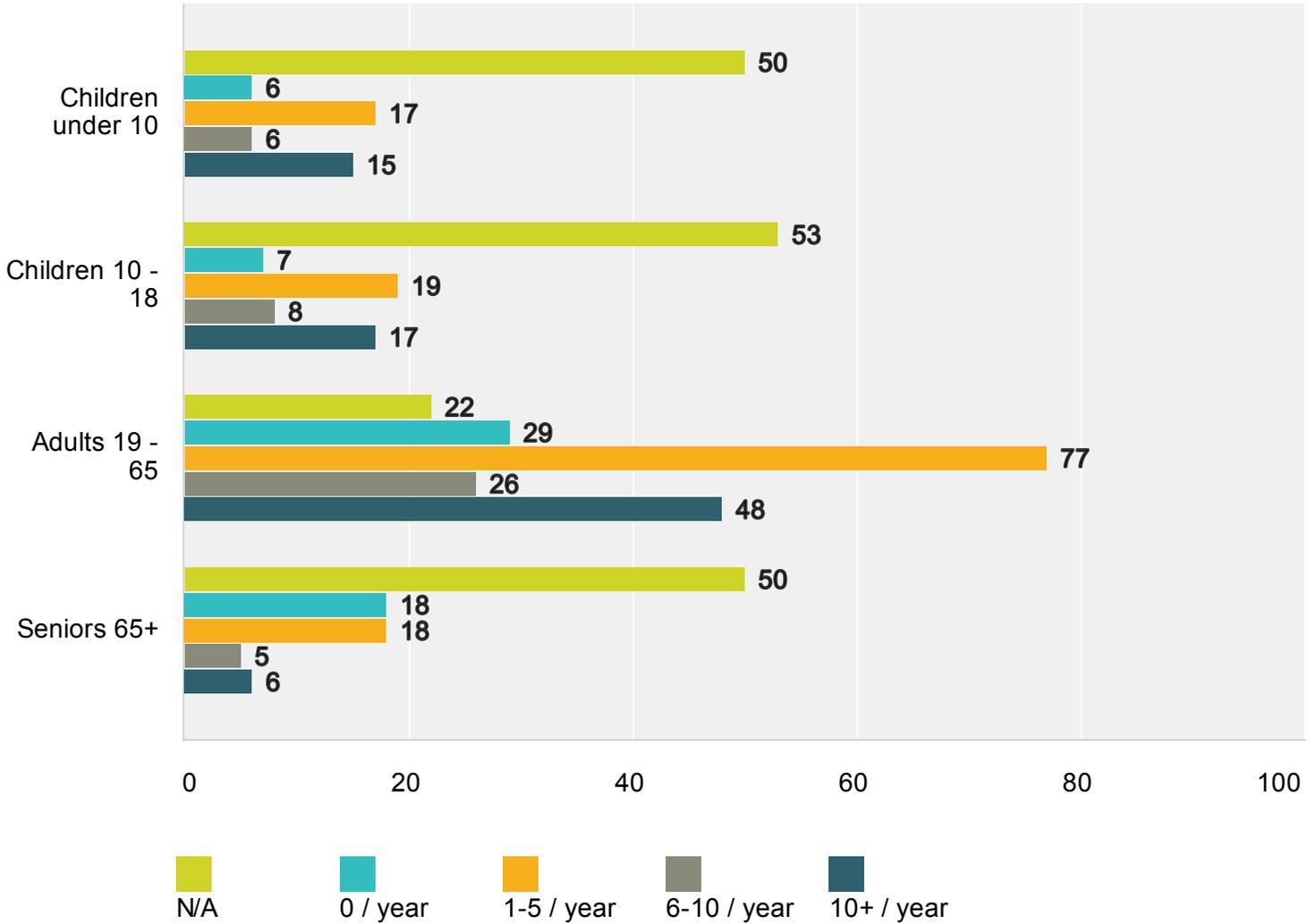
No
  Yes

If Yes, what group?

- |  |                          |
|--|--------------------------|
| baseball, basketball, picnics, park play     | rec volleyball           |
| basketball                                   | softball                 |
| Basketball                                   | softball                 |
| Brightbill basketball                        | Summer basketball league |
| Brightbill Basketball                        | Summer camp              |
| Brightbill rec bball in the summer           | T-ball                   |
| Daughter refs basketball                     | Tee ball                 |
| football, baseball                           | T-softball               |
| For many years we did - kids baseball league | volleyball               |
| Linglestown Baseball                         | volleyball               |
| Linglestown baseball                         | Women's volleyball       |
| Linglestown baseball                         | women's volleyball       |
| Linglestown Baseball Assn                    |                          |
| Linglestown cheerleading                     |                          |
| Linglestown Football                         |                          |
| LP bulls                                     |                          |

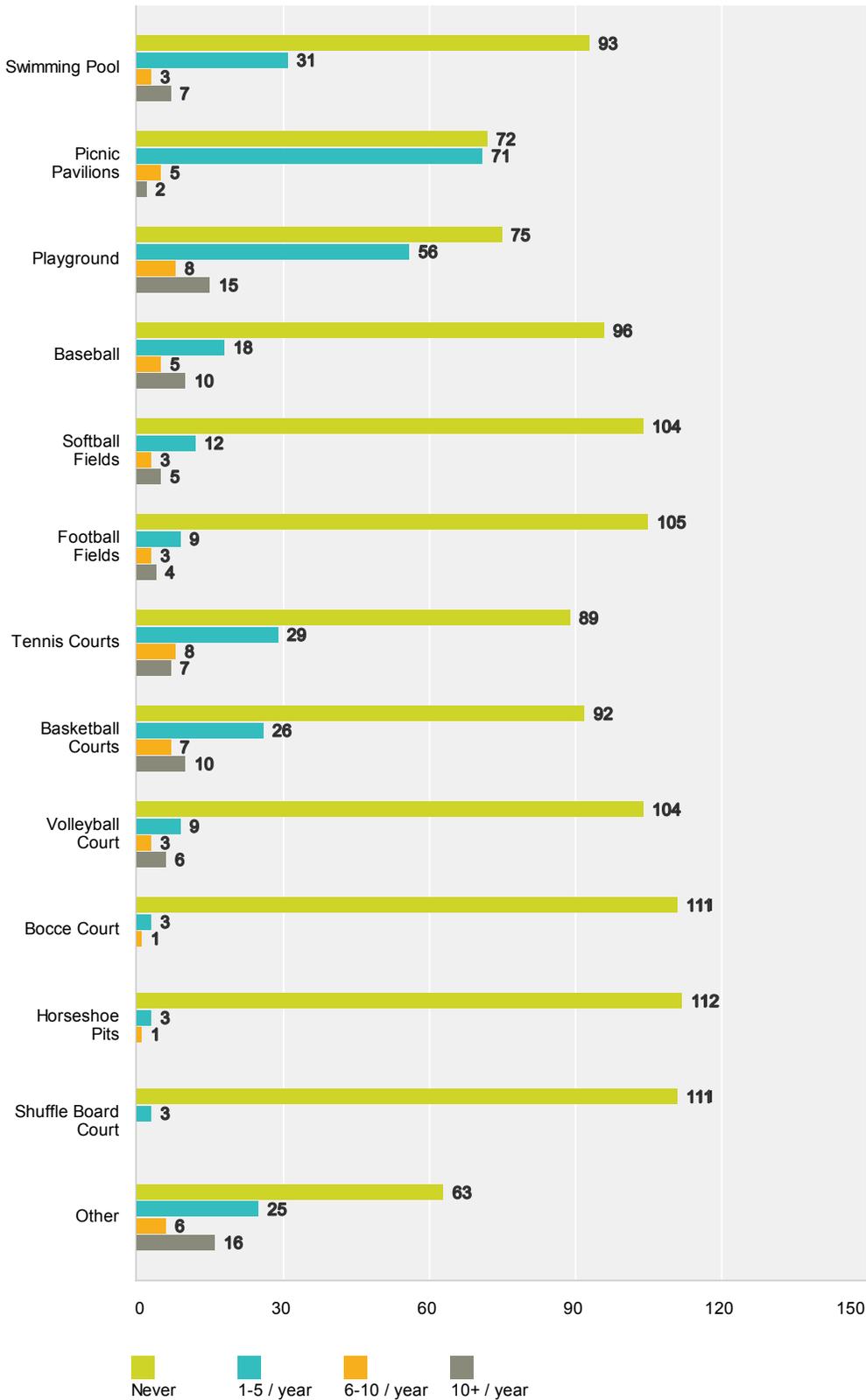
### Q6 How many trips in total (by age group) have the members of your household made to Koons Park in the past 12 months?

Answered: 231 Skipped: 47



### Q7 At Koons Park, what active outdoor facilities do you and/or members of your household use/visit most frequently?

Answered: 216 Skipped: 62



### Q7 At Koons Park, what active outdoor facilities do you and/or members of your household use/visit most frequently?

Answered: 216 Skipped: 62

Other (please specify)

bicycle riding

dog park

Dog park

Dog Park

dog park

dog park

Dog park

dog walking

dog walking and dog park

dog walking around the entire park

exercise

fields to watch fireworks

fireworks

fireworks, memorial day parade

flat parking lot for learning to ride bike/roller skate

Hang out with friends in the pavilions

Just someplace different to walk the dog

just walking

open spac to x-country ski

paved walkways for walking/jogging, exercising

Picnic

public areas

special events

Spectator of little league

Taking walks with dog

This is a safe and relaxing place to walk

To walk but it is usually muddy so we go to Memorial Lake plus it is all organized sports nothing for seniors

Trail/path to walk dog

use paths for running

wakjubg

walk around

Walk around the grounds

Walk around, no specific part

Walk dogs

walk dogs there

walk my dog

Walk our Dog & watch Baseball

walk our dog on leash

Walk our Dog!!

walking

Walking

walking

walking

Walking

Walking

Walking

walking

walking

walking our dogs

Walking paths

Walking the dog

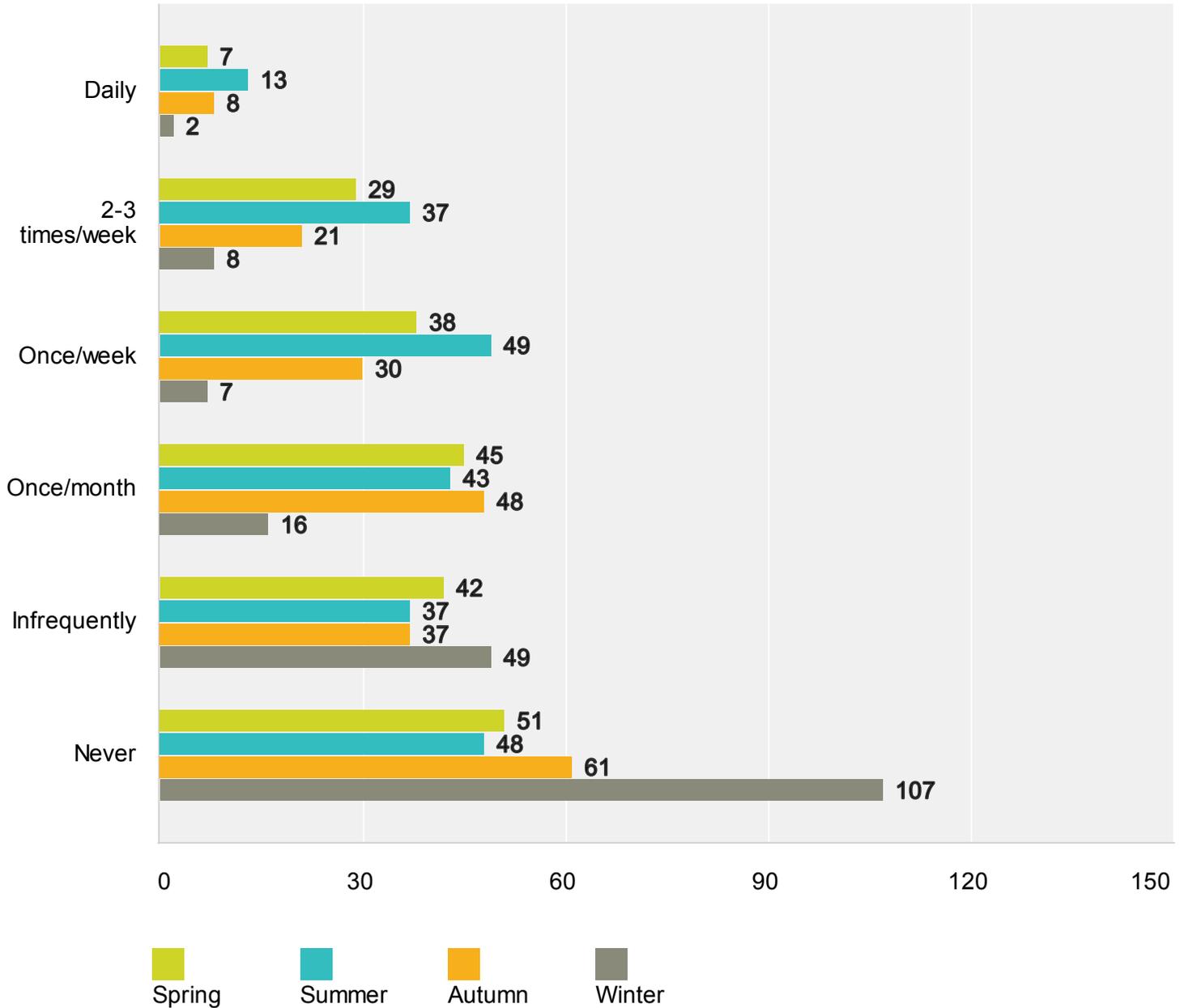
walking the park area

Walks around the park

watch some of the baseball games

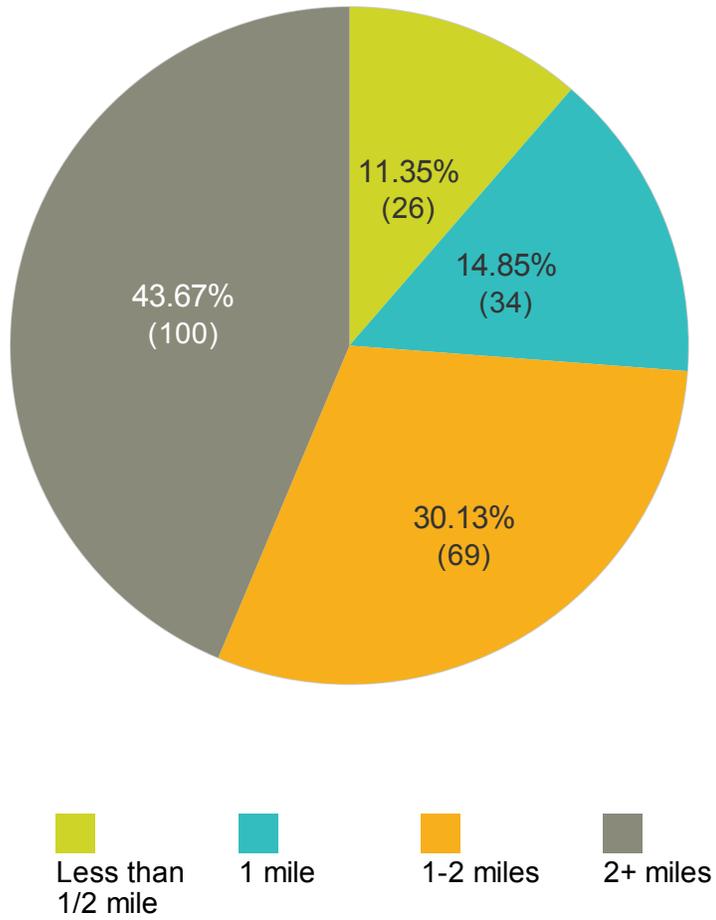
**Q8 How frequently do you and/or members of your household use/visit Koons Park during each season of the year? (Check one from each season category)**

Answered: 226 Skipped: 52



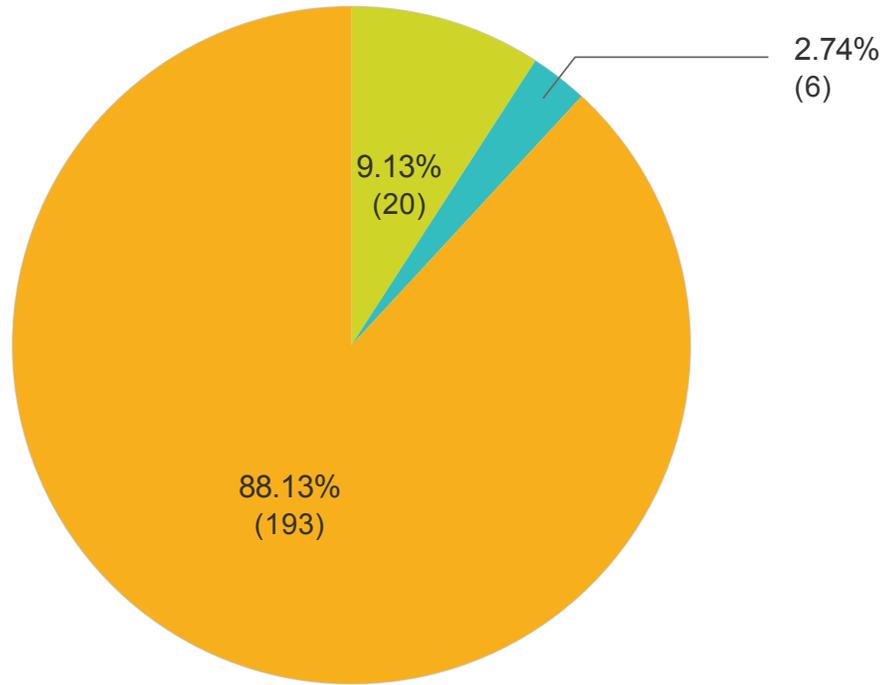
### Q9 How far do you have to travel to visit Koons Park? (Check one)

Answered: 229 Skipped: 49



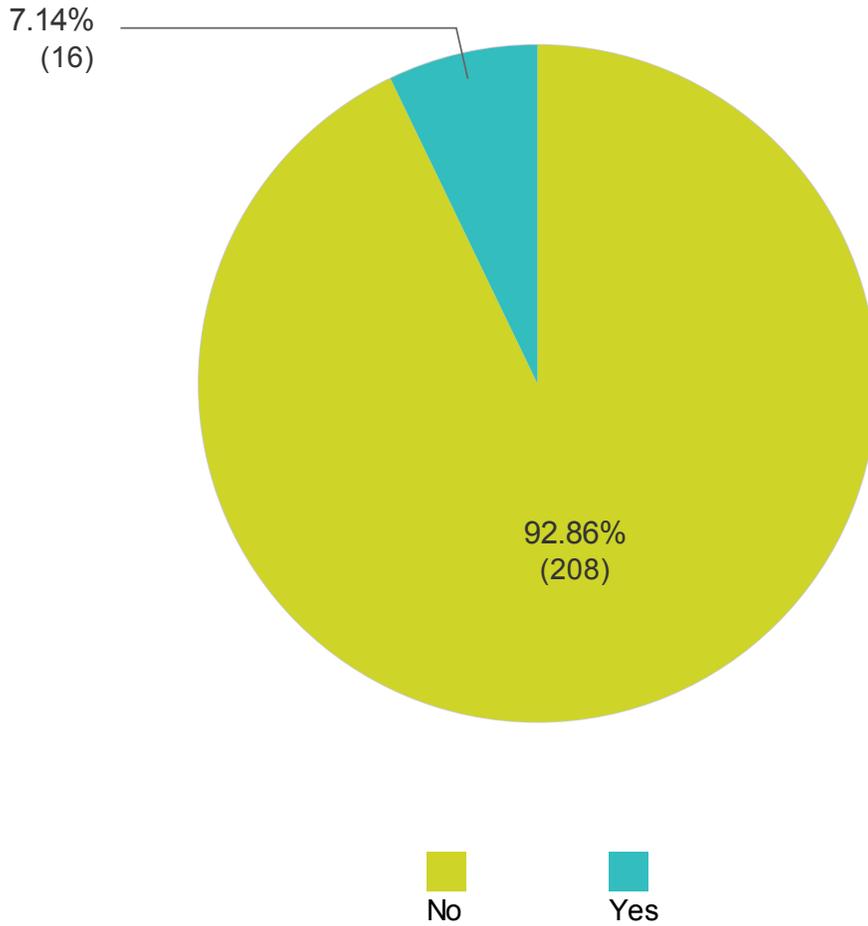
### Q10 When you visit Koons Park, how do you travel to it? (Check one)

Answered: 219 Skipped: 59



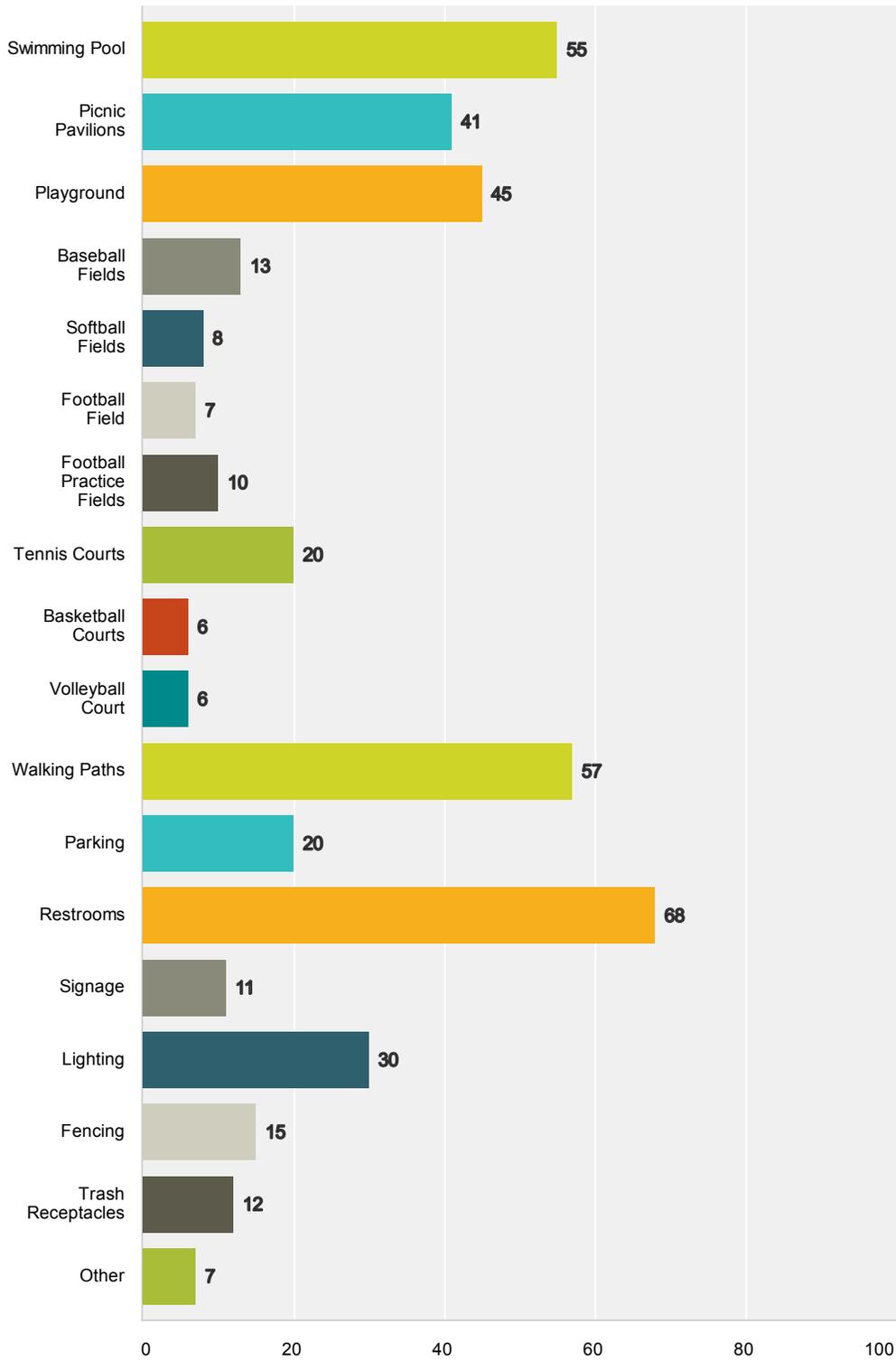
### Q11 Do you or anyone in your household have a season pass for the Koons Memorial Pool?

Answered: 224 Skipped: 54



### Q12 What facilities and amenities at Koons Park do you believe are most in need of repair or improvement? (Check all that apply)

Answered: 143 Skipped: 135



**Q12 What facilities and amenities at Koons Park do you believe are most in need of repair or improvement? (Check all that apply)**

Answered: 143 Skipped: 135

Other (please specify)

checked restrooms for pool

Dog park

Dog park

don't know

don't use the fields yet but they are important too

Drainage, the fields are wet and swampy most days.

N/A

n/a

Need dog park

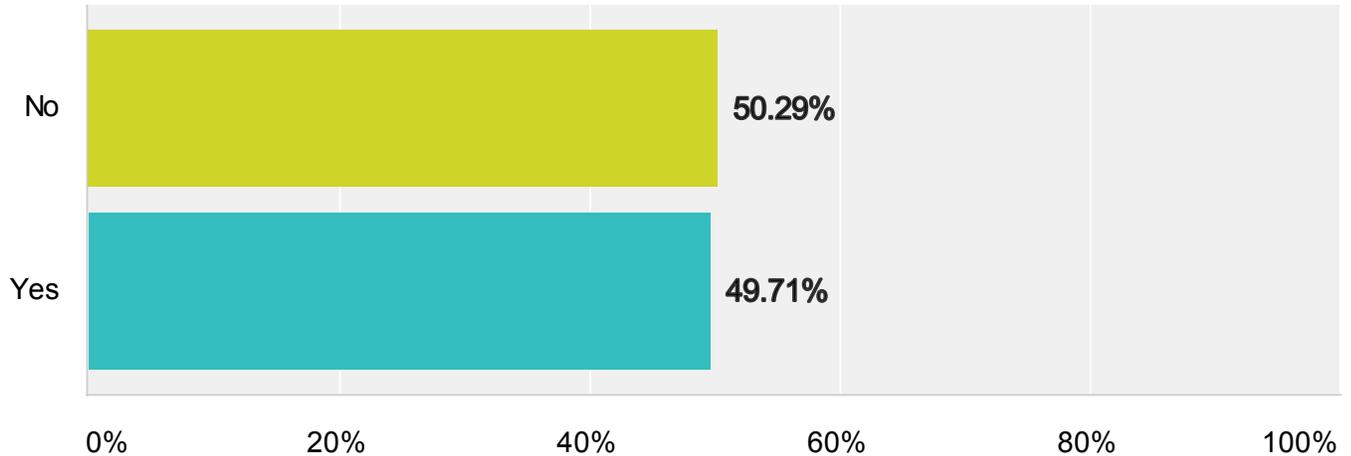
no shade for play equipment and they get burning hot

not sure

security. very crowded on occasion.

### Q13 Do you think more athletic facilities in Koons Park should be lighted to allow for night time use?

Answered: 175 Skipped: 103

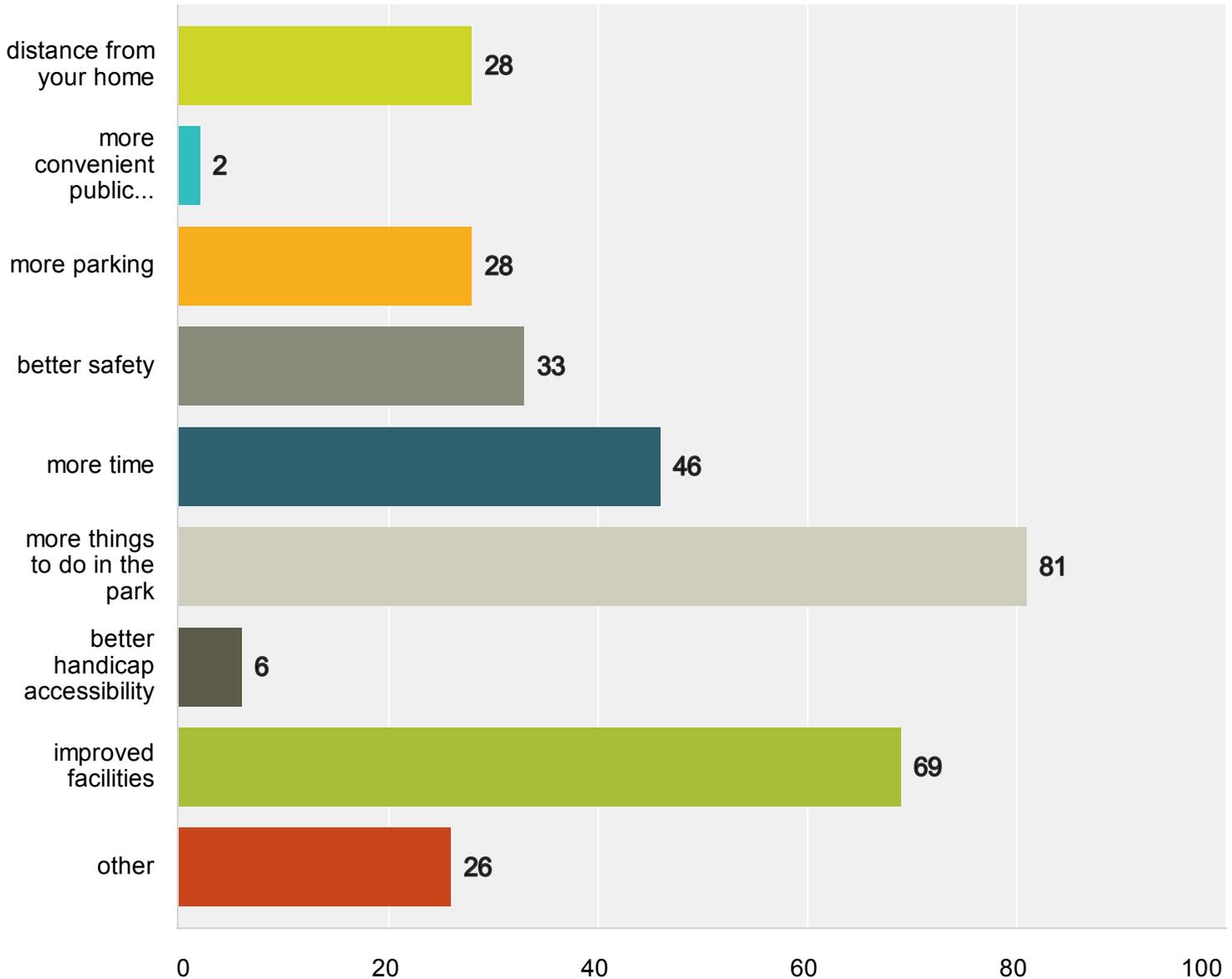


If Yes, please specify facility / field:

- all of them
- Anywhere that games are being played...basketball, baseball fields, tennis courts, etc.
- ball fields
- Baseball
- baseball field (s)
- baseball, football
- Basketball
- Basketball
- Bball court
- But allow them to be paid to use, if needed. That way the twshp isn't paying all the electric for night usage that isn't being used
- football, teener baseball
- I'm not sure which ones are currently lighted... but if more can be, that would be good. It would allow more usage of the facilities. Although, the leagues should pay some fee to offset the cost of the lights and the operation (electricity, repairs).
- It was difficult when my son played football in the fall
- Other athletic fields
- P.M. Softball
- Parking
- Teener / Twilight Baseball Field
- tennis and basketball courts would be nice to have night time play
- Tennis courts
- tennis courts
- tennis courts, softball, basketball courts
- Tennis volley ball basketball
- The drainage of the area is very poor. If large rains come, the center of all the ball fields becomes a huge swamp, literally. This not only ruins the grass and area, but makes participation, walking, riding bike, etc almost impossible. Lights would be a great addition to all and any fields there.
- The field adjacent to the current lighted field where the older guys play.
- The field on the Balthaser Street side where the older players play.
- The football field and practice field should be lighted. The fees could come from charging admission to games.
- volleyball, basketball, baseball
- What ever people use most.

### Q14 Which of the following, if they were different, would cause you to visit Koons park more often? (Check all that apply)

Answered: 170 Skipped: 108



Other (please specify)

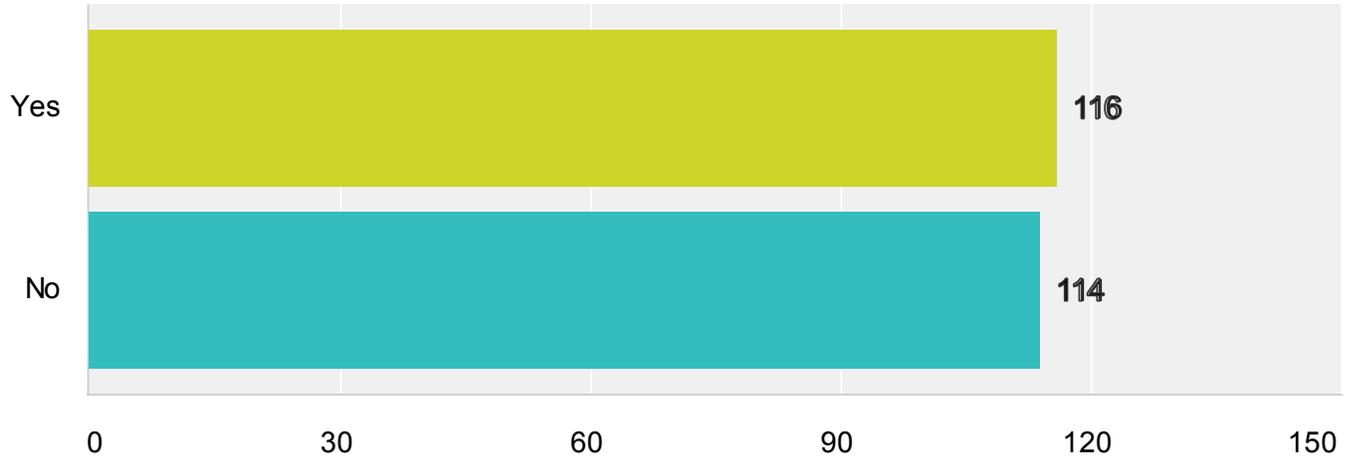
- adding a dog park
- better walking/jogging trails
- bigger playground.
- Dog park

- Dog park
- Dog park
- dog park
- dog park and better rest rooms with lighting and soap
- Dog park!
- dog walking trails
- Dogpark
- Easier to walk
- Free pool
- I did not know they had shuffleboard, I would have used it if I had known
- Love Possibilities Place at George Park
- more lighting
- More natural areas.
- more walking paths

- more walking paths and walking accessibility from Lingl Rd
- none
- open space for biking, rollerblading
- Play equipment that wasnt burning hot.
- Regular patrols are needed. There is drug activity and loitering.
- Sidewalks along Baltheser Rd
- walking and biking paths
- walking and biking trails
- Walking path
- walking paths
- walking paths, biking paths
- walking/biking trails

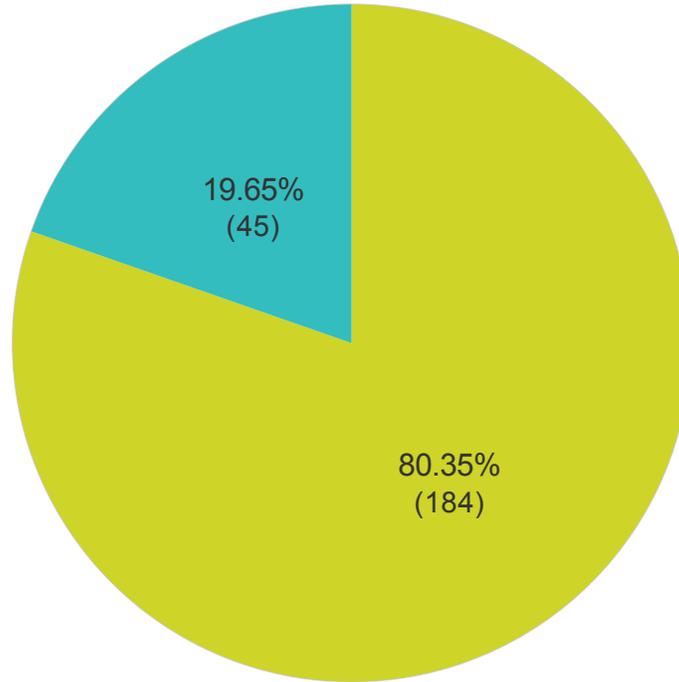
### Q15 Are you familiar with the Wolfersberger Site, located on Wenrich Road?

Answered: 229 Skipped: 49



### Q16 Have you or a household member been to the Wolfersberger Site?

Answered: 229 Skipped: 49



No

Yes

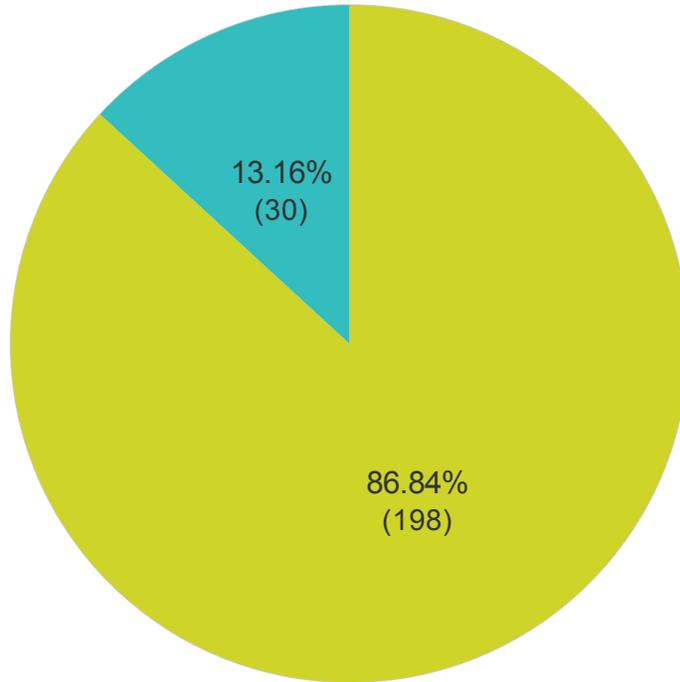
If Yes, what was the nature of your visit?

- A walk in the woods
- Attending basketball games and field hockey
- Check out the land
- Curiosity
- drive by
- Drive by all the time it's at the end of our street
- Drive by it daily
- Drive past every day
- I am familiar with the area, from walking along the road and when I played paintball once.
- I drive by there every day on way to work
- I live in Rockford Heights and can see it from my backyard.
- I live off of Wenrich Street - I walk and bike past it on a regular basis.
- Interested in looking over facilities.
- jogged past
- Just passing by.
- Just to check it out.
- just to look

- Live nearby.
- look around
- Paintball
- Paintball
- passed by on bike ride
- recreation - Paintball
- To look at it and to take our son and his youth group to paintball.
- to see the possible future of a new dog park
- To see what type terrain
- To see where it was
- Walk around
- Walking/hike
- We live in the area....
- We walked through there a few times

**Q17 Have you or a household member used the Linglestown Paintball facility currently operating in the northern portion of Wolfersberger Park?**

Answered: 228 Skipped: 50



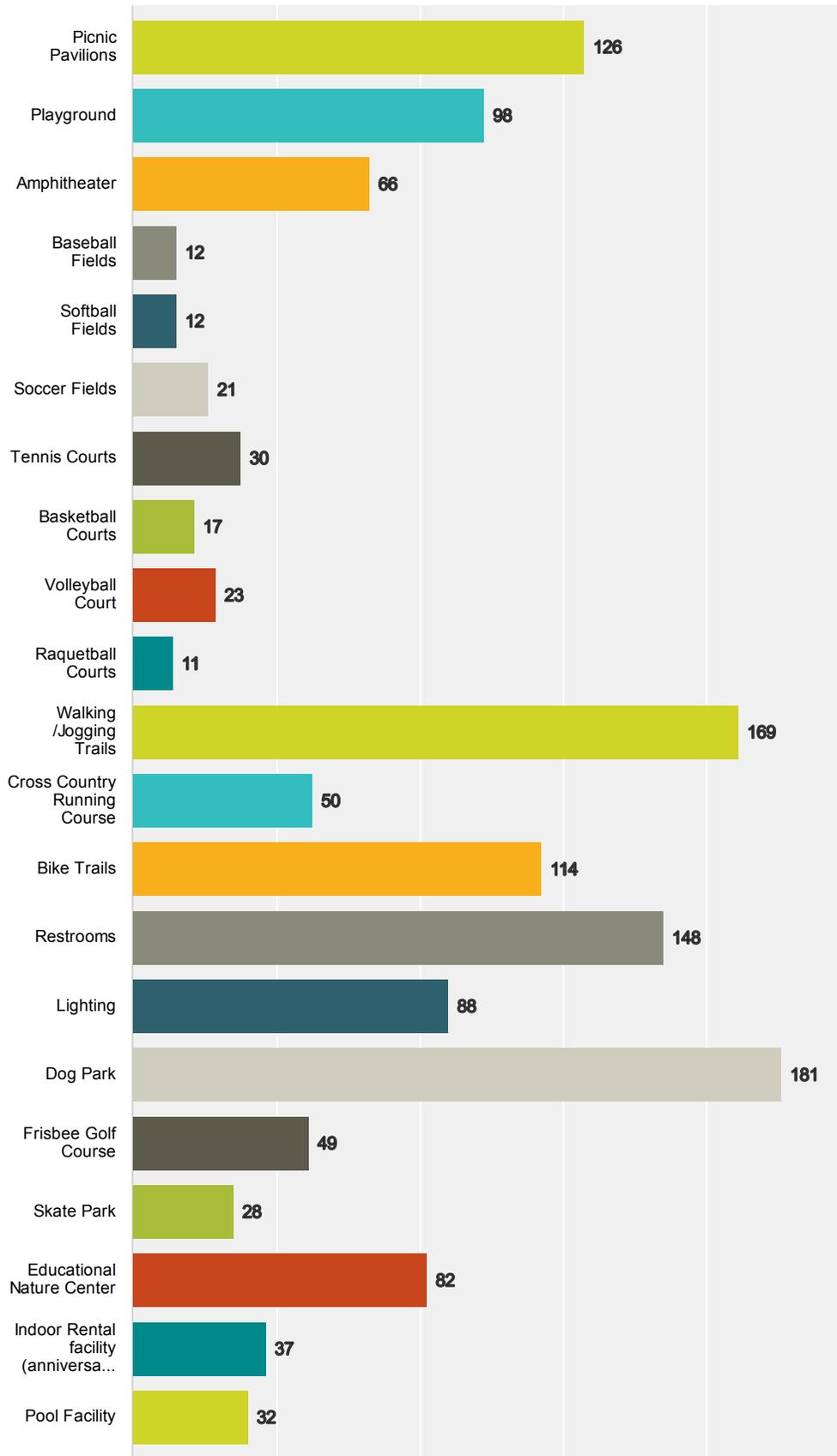
No Yes

If Yes, how many times a year?

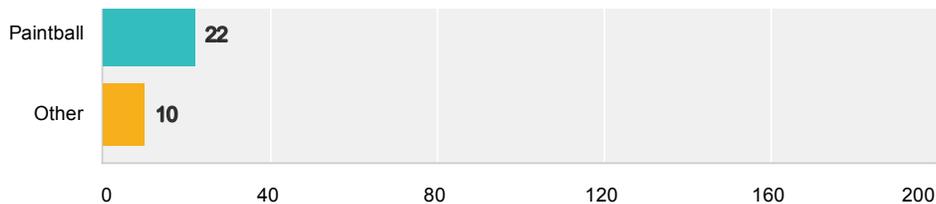
- 1
- 1
- 1
- 1
- 1
- 1
- 1
- 1
- 2
- 2
- 2
- 100
- 1 in 10 years
- 1 time in the last 10 years.
- 2-3 times a year
- Approximately 100 - every Saturday/Sunday
- few times over several years
- once or twice a year
- several...it is a huge favorite for teen boys and would be a sad thing if it went away.
- We have not been to Fox Hole in a few years.

### Q18 Wolfersberger Site offers a variety of opportunities for future recreation facilities, what would you like to see in the park (check all that apply)?

Answered: 224 Skipped: 54



Koons Park & Wolfersberger Park Public Survey



Other (please specify)

A dog park is top on our list. We'd visit at least once a week!

A Dog Park on the site would complement the existing Park. The two Parks would allow most Township dog owners close access to a Park no matter where they reside in the Township. As a resident of Mountain View Acres the current Dog Park is a little too far for me to regularly use. We would regularly use a Dog Park located at Wolfersberger. a good example is <http://www.arlingtonva.us/departments/parksrecreation/scripts/parks/HayesPark.aspx>

A new pool there might be the most cost effective way to deal with Koons pool, which needs a serious upgrade. Close Koons pool and build a new one owned and operated by the township.

Absolutely a dog park!!

area where plants or trees are identified similar to Georges park walking trail

Definitely, Dog Park with separate areas for large and small dogs. Plenty of good, strong grass growing in both areas - I would pay for membership to be assured that visiting dogs are UTD on all vaccinations including Bordetella.

dog park be careful how it is set up, walking your dog to and from can be tricky

Dog park and walking trails being the most important

Dog parks, as opposed to trails where dogs can be walked, etc, are a smelly, noisy mess. The one over at Lingle/Kohl has ruined the area in our opinion. The stench is horrible and the dogs are so noisy it is a nuisance. It isn't a large enough space. And we OWN and love our dog but would never use one of those 'dog parks'. This would really ruin a beautiful new park park such as Koons/Wolfersberg Park. This area is in desperate need of high quality soccer fields. It is an enormous sport and we are not keeping up with it like most other communities.

Dog training area

Gardening area/lessons on growing veggie gardens @ home

I would liketo continue to see bobcat, coyote, fox, and deer on this parcel. All of the above options would impact this.

More things for adults and seniors

Native plant and natural gardening center. Keep this park different from Koons. And focus on wildlife and natural areas. Bird watching center could be nice.

Nature preserve - open spaces

please keep this more of a nature park.

Safety lighting on bike and walking trails, security/emergency phones,

This is an opportunity to offer alternative activities not available at other parks. Emphasize the natural landscape.

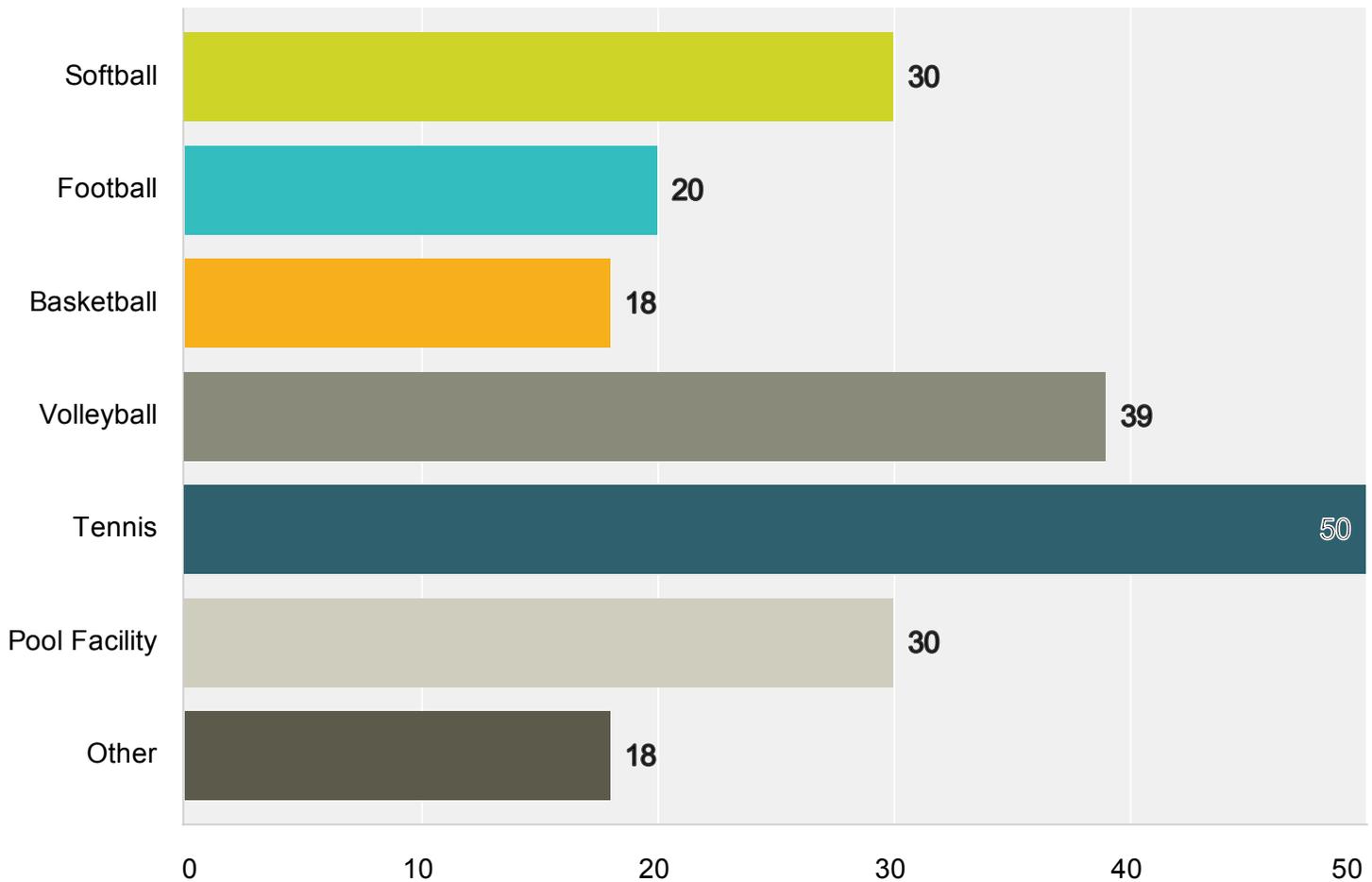
Walking Trails

Walking Trails!!!

Would love the nature center but would probably become vandalized like Possibilities Place and have things broken/missing.

**Q19 If Koons Park and Wolfersberger Park are to be developed as sister parks, the opportunity exists for new recreation facilities within Wolfersberger Park to help reduce the heavy usage of Koons Park. What recreational uses do you think could be relocated from Koons Park to Wolfersberger Park (check any that apply)**

Answered: 127 Skipped: 151



Other (please specify)

any of the above - good idea

Baseball

Do not relocate, add-on to facilities if utilization is high.

Dog park

Dog park and hiking trails

Dog Park, Hikin/walking trails

don't really know

Football needs a home. It battles other activities for space

Frisbee golf and areas for families to have to play their own games less organized sports a passive park I have never seen the area and cant judge the expense

I think that Koons should stay ofr athletics and Wolfersberg should be more natural and non organized athletics like walking, biking and frisbee golf

Keep Koons for the softball, baseball, basket ball, etc and turn Wolfersberg into a more natural setting for walking, running, dog area, etc.

Make a dog park available!

none

None make it a natural park.

none of the above - the township has enough sports parks.

None!

None. Leave it natural. Don't move the noise and commotion of sporting events.

Not sure

There is not enough parking at Koons Park.

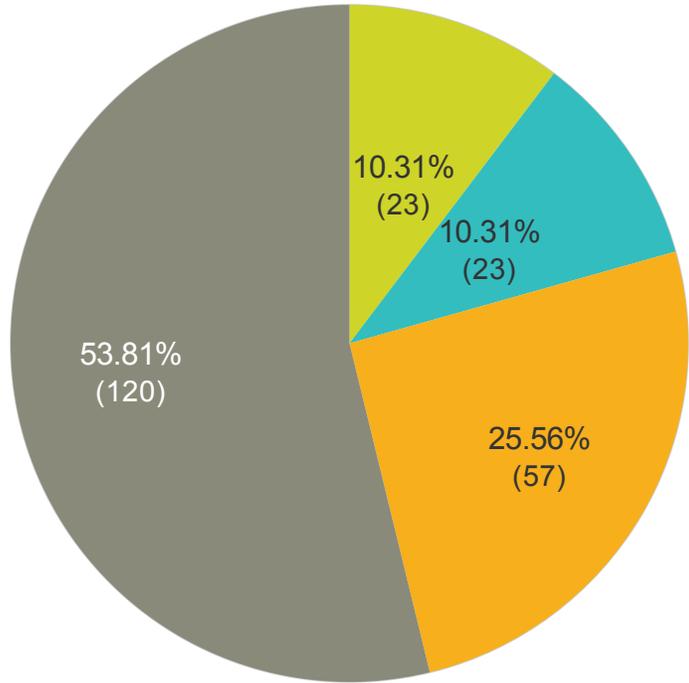
turn the koons softball fields into additional parking; everything else listed above seems to already to solidly in place and harder to move

Walking and biking paths would be wonderful as well as a playground facility for children.

would be best for families to keep all sports together

### Q20 How far do you live from Wolfersberger Park? (Check one)

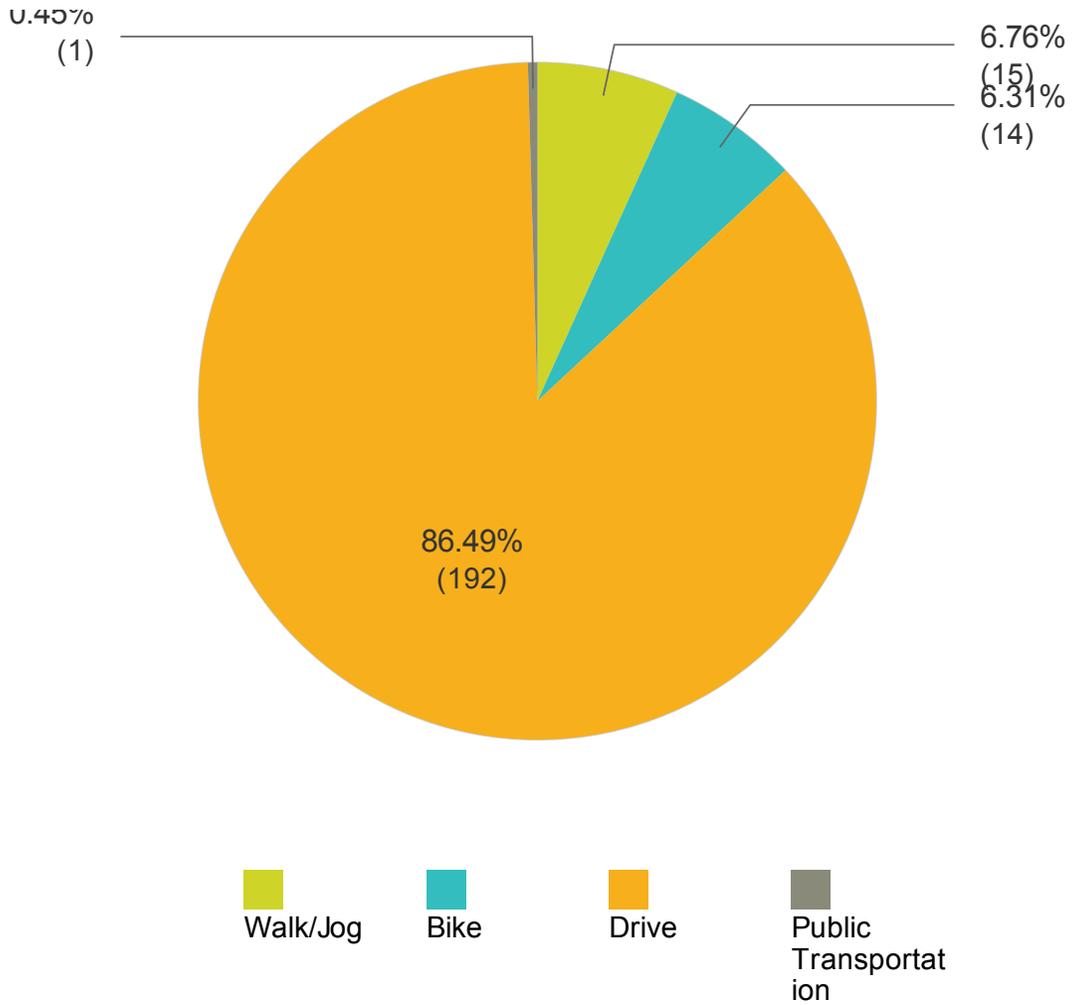
Answered: 223 Skipped: 55



Legend:  
Less than 1/2 mile (light green)  
1 mile (teal)  
1-2 miles (orange)  
2+ miles (grey)

### Q21 If you were to visit Wolfersberger Park, how do you travel to it? (Check one)

Answered: 222 Skipped: 56



**Q22 LPT is aware of the need to improve driving conditions along Wenrich Road as part of the development of Wolfersberger Park. Are there any specific concerns you may have or traffic problems that you are aware of along Wenrich Road?**

Answered: 77 Skipped: 201

LPT is aware of the need to improve driving conditions along Wenrich Road as part of the development of Wolfersberger Park. Are there any specific concerns you may have or traffic problems that you are aware of along Wenrich Road?

Better road conditions, roads, sidewalks

Blind hills

Blind hills

Blind hills

Do not know the area well enough to comment.

Drivers need to slow down. Hills can be dangerous. Viewing distance when making a left onto Blue Ridge Avenue from Wenrich St. Very difficult to see.

Driving to the high school which could cause problems or delays

Due to hilly terrain and narrowness of road, this street will be very dangerous if people use it to walk to the park or cross it to get to the park. Location of park entrances or exits must be placed carefully because of poor site lines. Difficult to turn left onto Blue Ridge Avenue or Linglestown Road from Wenrich due to bad visibility to the right at each intersection.

Due to the shape of the road and bends, some type of light would be useful to control traffic in and out of the park entrance.

hill in road, can be dangerous at high rates of speed

hilly and limited sight areas

I am not aware of any.

if it has organized athletics especially soccer, the traffic will be too much for that little road and neighborhood

I'm not entirely familiar with area; although, I do know there are blind dips in the road and blind sight areas pulling out onto Wenrich.

It is a heavily traveled road and by creating a park I think more people that live closer to Wenrich Street would walk to the park and it's a dangerous road the way it is now. You do not have adequate visibility.

It is very difficult to see cars coming over hills when running/walking down wenrich

It is very narrow, blindspots traveling over hills, speed of vehicles using the stretch of roadway.

larger shoulder on the sides of the road - biking/walking area

Might need a traffic light.

Must have 4 way stop at the blue ridge intersection. Visibility is currently poor when crossing blue ridge toward the south. Motorists often speed making for a dangerous intersection. The park would also increase walking/biking traffic furthering the risk of accidents

N/A

narrow street, hills, speeding

Narrow.

Need sidewalk

No

No place to walk that isn't a safety hazard from traffic

None

none

**Q22 LPT is aware of the need to improve driving conditions along Wenrich Road as part of the development of Wolfersberger Park. Are there any specific concerns you may have or traffic problems that you are aware of along Wenrich Road?**

Answered: 77 Skipped: 201

not at this time

Not familiar enough, but I would bike more on safer roads

not familiar with the site so no comment

Not that I am aware of

Open-Ended Response

Plan to have a bike lane

pple speeding

road berm should be wide enough for bicycle traveling or even add a bike lane

Sidewalks would very much help. I jog and bike along Wenrich frequently and I am always worried that I will get run over due to the hills and the nature of the road. Sidewalks would resolve this problem and I would feel much safer taking my son and dog along for walks.

sight distance at top of hill

SPEED

speed

speed limit signs and proper road signage

steep hills, narrow roadway

The 2 major "hills" are dangerous.... near Warren Ave. and south of Whisper Wood

The blind hills. Exiting and entering Wenrich at Blur Ridge and Linglestown road can both be difficult, due to limited visibility, angle of the roadways, turning radius, etc.

The hill by the apartments

The hills and narrow road

The hills are dangerous!

The hills keep people driving slower than if they weren't there. leave the hill, get rid of the park

The visibility of oncoming traffic is an issue. People speed over the "hills and dales", so it would probably require widening with a bike/walking lane. I drive that road at least twice a day during the week. Would not be interested in having soccer fields and anything that would attract dense traffic.

There are sections of the road north of blue ridge that is too hilly that visibilty can be limited on oncoming traffic, obstructions, stopped vehicles, or pedestrians that may be on the road. Same stretch of road may benefit from some widening to perhaps allow room for a sidewalk or a walking/running/biking trail from the park.

There are two bumps where visibility is limited. Road is narrow. Blind intersection at Wenrich and Blue Ridge. May need left turn lane from Linglestown Road

There is no safe way to walk that roadway.

Too dangerous to walk on road as drivers cannot see over the hills.

Too many young drivers going to/from the high school. SPEEDING! Lack of site distance at intersection of Blue Ridge Ave. Proposed entrances are at bad places.

Too narrow in spots for safe walking and biking

Two large humps in the road coming from Blue Ridge Avenue. These don't allow drivers to see ahead while driving as well as children that may be playing when the new park is finished.

Very hilly - sight restrictions.

Visibility due to hills, entrance to park dirt road not clearly marked

Visibility problems due to several humps in the road.

We like to bicycle out that way. There would be a need for more shoulder for bike riders.

We would walk/bike were there better access with walking/bike trails leading to it.

Widening and removal of the humps near Warren Ave. should be made to handle a higher volume of traffic that a park would create

wider shoulders for runners

Wildlife...widen road

Would currently drive there even though it's a short walk. Walking on Wenrich is very dangerous due to the hills and how fast people drive on that road, especially those that like to "jump" the hills in their cars...

Young people speeding over the hills in the road to become airborne

## Q23 If you could add anything to the Koons Park, what would it be?

Answered: 83 Skipped: 195

- A dog park
- A dog park
- A more creative and colorful play ground, and some screened in picnic areas. Something along the way of the Hummelstown park.
- A sidewalk/path along Batheszer st.
- A turf football field that could be used by other sports such as soccer and lacrosse. There also needs to be real bleachers at the football field to provide a better fan experience.
- accessible playground
- activities for older people
- Add dog park
- An accessible playground that all kids of different ages, abilities, and developmental stages can enjoy (i.e. Possibility Place).
- Basically I think it is a very nice park, and has plenty of activities
- Bathroom by the pony baseball field
- Better playground facilities
- Better security & more Lighted Baseball Parks!!!
- Bigger/Fenced in play ground with more equipment.
- Bike trails
- concession stand
- Dog Park
- Dog Park!
- Dog park.
- dog pool
- Fence around playground like George park.
- groups playing sports on the baseball fields when teams are either practicing or during games.
- I think that Koon's park has great sports fields. In the summer, I believe that the parking lot could be larger and the restroom facilities could be updated and perhaps additional restrooms could be added.

## Q23 If you could add anything to the Koons Park, what would it be?

Answered: 83 Skipped: 195

I think that Koons Park is a very nice park and cannot think of anything that I would change. My children are older. We used to spend quite a bit of time there in the past with Football, Baseball, Basketball.

Ice rink

Improve running/walking/biking trails. There are no good trails in the area, and I sometimes see kids with bikes on the parking lot along with traffic.

Improved restrooms and pool facilities

It offers plenty of activities already.

More parking

More parking

More parking

More rest rooms and play areas.

more restrooms and softball fields my daughters softball team often felt like the unwanted stepchild

More shade, better lighting.

More swings and nicer playgrounds. More parking spaces.

more/better access to bathrooms

much much better drainage during rains; an additional bathroom on the balthazer side of the park...the one bathroom is way too far away from many of the park's locations; parking is a huge need especially as our lpt police love to ticket your car when you park on the street above the pool because every single parking space is taken and there isn't nothing else to do; more lights for safety; fixed up pavilions; better basketball hoops and a sport court surface for them...the kids who play there are truly at risk for injury; renovated pool; NOT a dog park

N/A

No ideas

none

None

nothing

Open-Ended Response

Parking is one of the main issues here, it just needs thought out and safer ingress and egress.

Parking! An upgraded playground and better paths for walking around the park. The park isn't only just for the softball/baseball activities.

Real walking paths and add more variety of family activities throughout the year.

shade trees at the little kids play area

Skate park.

some type of a cool water fountain for dogs and or a doggie pool to cool off ! :) proper facilites for dog waste , bags and trash can

Space. It's pretty packed.

Sprayground like <http://www.fairfaxcounty.gov/parks/rec/lee/lee-outdoors.htm>

Tennis courts need reserficed and better lighting. Football could use lights for practices and lights.

The baseball complex is inadequate. It could be a expanded into a larger clubhouse with restrooms, concessions and public meeting space.

Too much there already!!!

Trails

Trails for walking and biking

Trails for walking/biking.

Trees. Rain garden. Walking trails.

update the pool & keep it clean

Walking / Running paths

walking paths

Walking paths

Walking trails. More trees. Green spaces.

Walking/biking trails

Walking-jogging trail around perimeter

## Q24 If you could change anything about the Koons Park, what would it be?

Answered: 68 Skipped: 210

A large pool with nicer facilities and lower rates for daily use.  
A new, more inviting pool area with water activities. The pool is currently rather boring and unattractive. Doesn't make you want to go there for fun... Also, build a wooden playground structure, such as Cocoa Castle or Imagination Station.  
accessible playground  
Add a Dog Park  
add more lightening  
Add more parking to the SE corner. Make the Restrooms more centrally located.  
Bathroom facilities  
Better drainage on fields and near pavilion.  
Better parking  
better paths for running  
Better playground  
better traffic patterns, parking and a general sprucing up of the area and landscaping.  
better turf in the large dog park  
Better/more bathrooms...more lights...more baseball fields that can actually be used.  
bigger basketball court  
Cleaner, better parking, new facilities.  
Deemphsize sports. Emphasize green spaces. Habitat for birds other critters.  
Dog park  
dog park and trails  
Don't visit it enough to suggest any changes.  
Drainage  
Improve the safety of the park  
Improved pool, splash park.  
Increase number of baseball fields to accommodate practice and LBA scheduled games  
It is just very run down. It is the most convenient park to our house, but we drive the extra distance to Possibility Place because it is so much nicer. The fields at George Park aren't muddy like Koons either. We would visit more often if 1) it was in better condition and 2) if it wasn't the place that tweens and teens cut school or smoke after school.  
It's dirty and the playground isn't great.  
Just update a few things. Playground should have a fence.  
layout is awkward and parking is often difficult  
less congested and cleaner, more attractive pool area.  
Less emphasis on athletic fields.  
Less mud. Better drainage, if possible.  
Less traffic congestion during events like sports games and fireworks  
make it safer  
More lighting and add additional parking close to the pool. Upgrade the pool and the restrooms at the pool.  
More lighting. Dog park.  
More lights  
More natural areas  
more parking  
More parking.  
Move the Football to the new park  
Move the Volleyball & Football.  
N/A  
Nicer playgrounds.  
none  
None  
Nothing  
nothing

## Q24 If you could change anything about the Koons Park, what would it be?

Answered: 68 Skipped: 210

Oh my goodness that is a bit embarrassing. I have tried attaching it again but keep getting an error message. Not sure what that is about so I will bring a copy with me. Looking at my week, I see Wed as my best day. Is there anytime that is best for you?

Thank you-- better restroom facilities at pool with improvement to showers also need better handicapped access

Open-Ended Response

Parking

Parking

Parking and aesthetics. More trees would be nice.

Parking for more cars and closer for handicap parking.

Pool fee

Possibly change basketball courts. Make them single instead of having several games going on at the same time.

Regular maintenance, better lighting, and security! The restrooms need to be renovated.

See #1 above

see above

Take one of the ball fields away to add parking. It's not safe when the streets are packed with cars. Families are pushing baby strollers around the road and with so many cars parked along the road, they are mosly in the road walking. Parks are meant for everyone to enjoy, not just the people playing the sports. It's not safe at all for kids to ride a bike around the park.

Tear out the bathrooms.

The football area.

The playground is inadequate.

the use of the pavilions and facilities from groups outside of lower paxton township especially school groups that take over the playground during the early part of the day mainly around and upto lunchtime and shortly thereafter..

update all

update everything

Update the park; seems a bit outdated, issues with safety.

Updated restrooms

We really need walking and biking trails. These could be added to either Koons park or Wolfersberger Park. Wolfersberger Park might be the better option for the paths because of the shade that the trees will provide.

Would love areas to take my 3 year old to after bad weather that isn't muddy. A walking path from Balthaser to the playground.

## Q25 Please share any comments or suggestions that you may have for Koons Park.

Answered: 34 Skipped: 244

As a relatively new resident, increased marketing about the LPT Parks System would be great.

Dog park

Fenced in football area

focus on natural environment nature park and very long local history. Paxton Boys , the nearby forts ,Local Historic Church , Original settlers and their interactions with local Indians, etc.

Great idea to expand facilities.

having a dog park would be wonderful for folks with no yard to exercise thier pets.

Hold special events for the community. get volunteers to pitch in to help people understand the awareness of rules and regs for the dog park, during the open hours.

I feel it is very exciting that the township is going to add another park to the community in this area. For so many, it is the only place you can have big groups, and have multi things for people to do all at the same time. Glad to see Koons get a face lift, and Wolfersberger be developed into something other than ugly town home sites.

I like Concept #2 that the planning team have come up with.

I like Koons Park alot, but I only think of it as a sports park - I only go when kids are playing sports. I would like a place for a quiet walk with the dog, or to look at/photograph nice gardens (could be projects for school kids???) . Perhaps this could be done at the new sister park - sustainable gardens by VoTech classes, both veg & flower, tree planting & identification, etc.

I love Koons Park and walking around the park, enjoying the kids playing but during peak season, it's just not safe. A firetruck could not turn onto Koons road to get through to a car fire because the streets were double parked. Cars park right underneath the No Parking Signs because there just isn't enough parking.

I love the park being so close and if the pool were nicer the hours were better we would buy a pass to the pool. Maybe even add in some outdoor classes after hours for swimming lessons or other things like at the Friendship center. It would be much more convenient for my family to get there then to drive to the Friendship center a few times a week. Maybe closing that pool and opening a new one at Wolfersberger would be better depending on costs. Living between the 2 on Warren Ave is going to be great if traffic concerns and Wenrich walking path is addressed.

I used to go to the pool with my grandchildren before they moved and I enjoyed it very much. I thought it was well maintained. The only thing I didn't like there was that the music was so loud I had a hard time talking with my grandchildren. I haven't been there in a year now, but thought it was a great pool. I especially liked that I could pay as I went.

I will travel anywhere to a dog park in order to get my dog exercise and social events.

Koons Park is a great place for all the children's sporting teams as indicated by all the activities going on every evening in the warmer months. It would be nice to keep all the sporting facilities at Koons Park and use the new park for a more environmental area where people can just enjoy nature by walking, biking or letting their dogs play in a dog park.

Koons Pool needs a make over on the bathrooms and the pool itself. Itmay attract more people if it was cleaner and no camps..

more pavilions with open space round them.

N/A

N/A

none

None

None

none

Not enough parking, too many activities at the same time

Open-Ended Response

Our family "grew up" at the pool and played most days in the summer in the park 30 years ago. It is a lovely park with lots of grass and trees. We are taking our grandson there to play sometimes. He is 4yrs old and enjoys jogging around on the grass. The play area is often too hot for play. Dont change the old trees and the grass. So many parks are bare of lovely large shade trees, Koons really stands out for that.

Please check lightbulbs in basketball/tennis courts.

Still a great park but could use additional restroom facility on other end of park

the only times I have visited Koons Park was many years ago when my children were young. Mostly for baseball/softball games and to play tennis with them. The ball fields always seemed to be overcrowded.

The park is a huge community resource and serves us well. It just need to be modernized. Thank you for your attention to its needs.

**Q25 Please share any comments or suggestions that you may have for Koons Park.**

Answered: 34 Skipped: 244

The park is a huge community resource and serves us well. It just need to be modernized. Thank you for your attention to its needs.

there is a need for more public safety there during 'off' hours...it can become a 'hang out' for people who seem to have nothing better to do...not sure what they are doing there, but it is disconcerting to be there and see these older kids/adults there... Overall koons is a bustling place that meets the needs of the community in a wide variety of ways. It gets sooo much use. Putting tax dollars back into it would only enhance it and make sure it's good to go for another generation of kids and families. Parking really is a problem. No bathroom on the far side is another issue. The drainage in the center is horrible...it's like 'lake koons' at times. You can lose shoes in it the muck gets so deep. Poor initial engineering.

There is a strong need for a Dog Park in the area.

We love it but my kids are in between for use now...a bit old for the playground, unless improved & a bit young for courts. A bike path would be awesome!

We need better walking and biking trails in this community.

We used the park when the children were young. My son was in football and back then we bought the pool for the summer.

We also hit the ball in the tennis court. parking was always a an issue when there were team sports going on. Don't really know about things now because we are older...and the friendship center seems to cost alot if you don't go alot that is why we have stayed away from that building.

## Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.

Answered: 117 Skipped: 161

A dog fountain would be really nice and somehow maybe this could be constructed as user friendly for water conservation and the environment. Recycle w/ some sort of filter system? saw something similar on HGTV Check w/ local business to donate products? Get the community and or schools involved. ie;- Vo-Tech schools to make benches? or companys to donate? Trash cans etc.

A dog park in the Linglestown area would be fantastic!

A dog park would and could be used by the residents of the north end of the township without having to travel far to Union Deposit Road site.

A dog park would be AWESOME! Especially if it were wooded or along a stream ... something more natural and a larger space for people to go. I think that, combined with walking trails would be amazing!

A dog park would be nice

A dog park would be a nice addition.

A dog park would be very appreciated since the other one is too far from where I live and is over crowded many of the times I go there.

a larger dog park with separate sides for large and small dogs would be great, along with benches or picnic tables for the owners.

A walking path for dogs is greatly needed in this area. Water fountain would be great too.

Add a dog park

Add a natural dog park. Trails available for hiking with dogs off the leash.

Add dog park

Adding a walking trail which would allow dogs

Another Dog Park in the Township would be great

Another dog park in the Township would be great to have. I would much rather travel to a closer park than to the one off Union Deposit Road. My dog gets car sick and this park would be much closer for me to travel to.

At least a part of it should be designated as a walking, biking, natural park.

Better scoreboard and booth for football

Concept 1 is a great design and seems to accommodate more interests in the community. Will be a great use for the land. Running trail will have a positive impact on community health

Consider a Dog Park. I couldn't find the survey on the Township Web Page. Post this Survey on the Lower Paxton Web Site so that it is readily available to residents. If it is currently posted on the Web Site please provide a note on the Home Page so that folks who visit the Site know how to access the Survey.

Do not make it another Koons Park.

Do not overdo the development

dog park

Dog park

dog park

Dog Park Nature Walking Trails

Dog park Walking trails Gardens

Dog Park : )))

Dog park please!

Dog park sounds good

dog park would be great walking trails that are dog friendly

Dog park would be great. I have two small dogs.

Dog park!

Dog park!!!

**Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.**

Answered: 117 Skipped: 161

Dog park, walking/jogging trails

Dog park/Trails/Disc Golf

dog trails and park

Excited to hear the possibility of second dog park in the township...The current dog park shows the need for our 4 legged kids to have a park..For the health and welfare of our canine citizens, a second park in the township would balance the overuse of of the current park....Thank you for the consideration of a second play area.

focus on natural enviroment nature park and very long local history. Paxton Boys , the nearby forts ,Local Historic Church , Original settlers and their interactions with local Indians, etc.

For Wolfersberger Park, make sure there are enough benches along a walking trail/bike trail to be able to stop & admire the area. Lights too. For dog park--try to get a good type of grass or whatever for the large dog park as they tear up the ground so much. And when that happens, after a rain the ground is nothing but mud and if the sunshine can't get to it to dry it up, it will be a mess all the time. And you need more benches for the people to sit on while they wait for their dog to play. A number of trees for shade but not too many that the sun doesn't come thru and maybe a picnic table or two on the outside of the dog park area. And maybe some sort of water for the dogs if possible.

Given the location it would be nice to keep more natual oriented. Lots of trees and walking trails that could be used for cross country skiing in the winter.

Great chance to add a green space. Walking, biking, natural area, birds without all the noise and commotion of sporting events.

Green space, walking, hiking, biking, natural areas and a large dog park

Having a dog park would be a great benefit.

Horse trails

I am aware of only one dog park in the Harrisburg area and Wolfersberger Park is much closer to where I live than the existing dog park.

I am concerned about the potential increase of traffic on Warren Avenue that could create a safety problem in the neighborhood.

I am in complete agreement with the assessment that an additional park would be a welcome addition to Lower Paxton Township and for my own satisfaction, I would love to see a dog park at the new Wolfersberger facility at the Wenrich Street site.

I am interested in soccer fields, running trails, and biking trails.

I do like the idea of a mre natural area with trails for walking and jogging.

## Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.

Answered: 117 Skipped: 161

I grew up in West Hanover Township. The Foxhole/Linglestown Paintball have been part of the Linglestown/Lower Paxton community for my whole life and I have spent many fun-filled hours there with friends and family, as kids and now as adults. To my knowledge, Linglestown Paintball is the only paintball field in Dauphin County and people come from all over Central Pennsylvania to play there. My husband and I make the 45 minute trip to Lower Paxton nearly every weekend even though we live in Lancaster County where there are 4 paintball businesses. We come to Linglestown Paintball because it is a great place, family oriented and fun for all ages. I know that paintballers seem to have a bad reputation, though I am not sure why. Our players include kids, teenagers, 20-somethings, senior players and families. Many weekends we have groups of kids coming to celebrate a birthday, and we have several players who come to the field to spend family time together on the weekend. Our players support other local businesses with their lunch and gas purchases. Linglestown Paintball also attracts players from other counties who otherwise would not have a reason to come to Lower Paxton. If Linglestown Paintball is not able to continue operating, or is forced out of business financially, it will be a great loss to the local community. This business has been part of Linglestown for many years and its absence will force players to go out of county to continue playing. I would expect that the Board of Supervisors would prefer to see a local business be successful than close it down and force customers, Township residents and County residents to take their business elsewhere. The area on which the paintball fields are currently located is not suited for use as a baseball or soccer field. It is therefore in the best interest of everyone - the Board, the community, and Linglestown Paintball and its customers, that this use continue. I have dogs and would love a dog park and trail in that area.

I love the idea of walking/bike trails in the township and would very much like to see a connected corridor of safe non-motor vehicle transportation in the area as it is greatly lacking currently

I picture it as a nature park w/ winding walkways and paths and a natural frisbee golf course throughout, treed areas and some cleared areas for pick up games of tag and flying kites, a natural park that is quiet to enjoy, maybe a dog area, a playground, picnic tables throughout treed area

I really like concept #1 that the planning team came up with.

I really love the idea of a dog park located there!

I strongly cast my vote for a dog park. With more and more people in the community owning and being responsible dog guardians, another dog park would be ideal. Because this is an idea that is not finalized, this gives you the perfect opportunity to create a dog park that is not just an open grass area inside a fence but one that has various things to make it more interesting for dogs and their owners. Maybe incorporate more trees for shade, walking trail area and an open area for running and playing.

I think keeping Wolfersberger Park more natural with trails, dog park, etc. would be great. We don't have anything like that around here. Koons is great for playing sports but isn't a nature area. I would love to take my kids hiking there, playing on the playground, etc. It would also be a nice area for a dog park.

I would enjoy a walking/biking trail.

I would love to see this as more of a nature park.

I would love to see walking and biking paths at this new park as well as safe play ground equipment for children of various ages. Sidewalks on Wenrich Street would make travel for local families much safer and I know that my family would join a pool if it was new and available for use year round.

I would love to see walking/hiking trails at that park.

I'd love to see a dog park. The one we have now is vey nice, but too far away for me to use it as often as I would like. Also I'd like to see safe nature trails for both walking/jogging and biking for adults and children. Bathroom facilities would be necessary too..

If there are so many natural resources, let's preserve them and include a nature center in the same way that Wildwood does.

## Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.

Answered: 117 Skipped: 161

I'll have to go see the area. Athletic fields cost lots of money. Can the township raise the money to build and maintain athletic fields I wonder. I would prefer nature trails or jogging trails which we seem to be short of.

In general, I hope that this park can be more "natural". I reviewed the concepts... I like Concept 1. The thing I dislike about most township parks (generalizing here), is that they cater to the sports league (soccer, baseball, softball, football). So that means the location gets cleared of the majority of the natural vegetation, and grass gets planted everywhere and everything is flat and green. I'm not totally against having fields at Wolfersberger, but it would be nice to have more things like... walking paths, mountain bike paths, frisbee golf (in and around trees), natural areas, etc.... not just complete flat grassy areas. Think of it as more of a small State Park... but with adding a few fields for league athletics. Also, I live on 6500 Blue Ridge Ave, and we see an abundance of wildlife... deer, turkeys, birds, squirrels, etc. It would be nice to preserve some of their natural habitat at Wolfersberger Park.

Install a dog park.

It would be great to have a park where people could go to relax in a natural setting without cheering and yelling. To be able to be out in and to appreciate nature. Just to be able to walk without traffic. To walk the dog and then go to a dog park where they can be off leash. To throw a frisbee, play wiffleball, just toss a football or softball around, etc. Where older citizens (taxpayers) can go to have some outdoor fun.

Bocce too

It would be nice to have a dog park in the area.

Keep as natural as possible.

Keep in a natural park for nature walking and biking!!! We need a quiet place with no sports team mulling around and taking over.

Keep it more natural, less grassy fields... we don't need 93 acres of continuous football/baseball/soccer fields. Keep the topography... rolling hills, etc. as much as possible. Include some hiking/biking trails, walkways. Keep much of it wooded... or add tree plantings around fields... shade is a good thing.

Keep this more of a nature park. Do not turn it into a sports complex. Most of the other parks in the township are sports oriented. Keep this park different. We need a place to get back in touch with nature. A serene place for walkers and joggers with some play areas for children. The sports organizations rule the other parks in the township, please keep this park a sanctuary for the rest of us. Please do not split the sports between Koons and Wolfersberger. Keep the sports at Koons and the nature at Wolfersberger. Don't make the identical twins. Let them have distinctly different identities. I found the plans shown at the April 4 public meeting very agreeable. Please get those plans on the township web site for public display.

Larger areas for pets, large and small.

Leave the paintball area. It is unique to this area and a huge attraction for local teens. They need something different like this. It is a whole different set of kids that paintball and get outside and enjoy the fresh air. Access to it, however, is really really poor and need huge improvement. Leaving some of the area as a 'preserve' is a great idea. Those spaces are less and less as we encroach upon them. It could be similar to the green belt around the city...to have appropriate trails for bird watching, walking, jogging, etc. Keep the dogs out. Smelly and noisy and would scare any birds right out. Soccer fields are a huge need. Build them! A skate park would be an awesome addition. Hershey is way too far away for local kids to have to drive.

Like the site, very nice for walking and nature trails.

Make a Dog Park there!!!

Make it a nature park with no more than a couple of ball fields. Make it informal with walking paths, open fields dog park, frisbee and nature center for functions.

## Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.

Answered: 117 Skipped: 161

Make sure parking area is designed to discourage people from driving fast with speed humps & animal crossing signs. Bike paths that are child friendly. Fenced playground with one entrance/exit. Add family restroom & enough staff to ensure they are open all year. This is an ongoing issue with our parks.

Move a couple of the ball fields to this park and a dog park would be great.

nature and bike trails would be nice. Basketball courts. general use sports practice fields. a dedicated lacrosse practice and playing fields, with practice throw back wall

Nature center, walking and biking paths,

No concerns

No sports fields, 3 acre dog park, walking/biking trails

Open-Ended Response

Please add a Dog Park.

Please keep as much of the area as natural as possible. Love to visit Wild Woods on a regular bases, and it would be great to have Wolfersberger be that for us in this community. Plus I would not have to drive to Wild Woods if Wolfersberger offered the setting of Wild Woods. Please, please do not become concert/asphalt jungle.

Please keep Linglestown Paintball (LP) as part of the park. I drive 45 minutes to an hour every Saturday and Sunday to spend my weekend at LP. Many families, kids and those of all ages come to LP to have fun and spend time together. Like me, many players come from out of town to support this local business.

Losing LP would be a detriment to the community.

Please leave some open area for a spontaneous game of kick ball even if the fields are in use. A nice hill would be great in the winter for safe sledding. Most of the hills at the other parks end at the street or parking area. This is dangerous for sledding but I see those hills being used. Please add in walking paths that are "mud resistant" so that it's not a chore to clean shoes before getting into the car or having wet feet when out and the kids need to run.

Please look at other places and see how they do theirs. Fairfax County in Virginia has some of the nations best parks.

Please make this a passive park!!!!!!!!!!

Preserve as much as possible the natural beauty.

Put a 2nd Dog Park There!!!

Same rules as Lower Paxton twp Kohl dog park. As I said before - I would pay membership dues if paperwork was done to assure me that other dogs are UTD on all vaccinations including Bordetella. Clean water provided for dogs. Proper grass planted for heavy duty use especially in Large dog area. Periodic monitoring done by LPT volunteers. Doggie bags provided and well stocked. Have a FOB system like Manheim Twp dog Park (in between Lititz and Fruitville Pikes) in Lancaster Co. Some benches and trees provided.

See comments for Koons - they are intended for Wolfersberger park.

Since the area does include several sensitive areas, I would like to see them maintained and public areas developed around them. A nature center, walking trails with benches, public restrooms, frisbee golf (for seniors) and most definitely a 2nd dog park. This could be located away from Wenrich to avoid problems with the neighbors along the road. Having a park on the Linglestown side of Rte. 22 would be great. Due to the distance to Kohl, many residents of Linglestown do not make the drive. Thank you for allowing public input into this important decision.

Soccer fields and dog park

Some green space would be nice - not just recreational facilities

some natural space would be great~ no development for sports!

some sports fields, but lots of nature

## Q26 Please share any comments or suggestions that you may have for Wolfersberger Park.

Answered: 117 Skipped: 161

Support the more "natural" Aspect of the park- something that would attract more members of the community.

The dog park at Kohl Park is outstanding, but it would be nice to have another one on this side of Route 22.

This is a beautiful area, please don't ruin it with pavement and street lights and trash.

This is a great opportunity to build on the natural landscape of this location, to provide more natural space, walking trails, trees, wetlands. I understand the importance of competitive sports (I was president of L-town Football Assoc. years ago), and Koons certainly caters to the athletes in the township. It is also important to foster an awareness of nature, and to provide park space where residents can enjoy & where kids can learn about nature. Let's leave all the athletic fields at Koons and use Wolfersberger for nature enjoyment and education.

This is exciting. There is so much space to work with here, that there is room to expand with many of the features in a park that Koons cannot fulfill because of limited space. Local, yet away from the hustle and bustle of the community. Looking forward to this developing into a usable park.

To try to keep it as natural as possible. We need to protect the areas that have not been developed in Lower Paxton Township. Am very excited to have a new park so close. Hope to have some good walking trails.

Walking and mountain bike trails would be great. Being so close to the city I would love to keep it quiet and serene. No sport fields there. A dog park would be nice.

Walking and nature are priorities

walking trails bike paths more nature preserve.

Walking trails/nature trail would work perfect for this parks setting. A nice playground facility such as possibility lace would allow for another really nice family setting in the future.

Wat a great fresh place to start. Take your time and make great choices that will serve the community for generations to come. Thank you for the chance to share our thoughts.

We need another Dog Park and Dog Walk at our end of the township, which should include a water station for dogs to drink, shade trees for hot summer days, lights for evening use and plenty of benches for seniors and dog owners who have physical disabilities or restrictions. Special and easily accessible handicapped parking should be available for the pet owners who use the dog park. There should be tighter restrictions on the number and age of children allowed in the dog park than what is currently allowed at Happy Tails at Kohl Park.

We should keep it as natural as possible Walking Hiking Dog Park

When designing this park, it would be nice to incorporate more bike and hiking trails. Trails that could be used for cross country skiing also. If we ever get snow again.

Would be interested in having a more natural park that does not have soccer fields!! Trails would be nice.

What about horse trails? We have horses.

would like walking trials and dog park

would love a wooded walking/jogging/biking path!!!! also a dog park would be great and outdoor 3-wall racquetball courts would be awesome!! Great exercise.

Would love to see a dog park

Would love to see a dog park, trails for jogging, biking

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
1.0	Raspberry Lane Entrance Improvements							
1.1	<b>Site Preparation</b>							
	Site Grading	3845 SY	\$ 8.50	\$ 32,683		\$ 32,683		
	Demo Ex. Paving (Disposal Included)	3731 SY	\$ 6.50	\$ 24,252		\$ 24,252		
	Demo of Salt Dome	1 LS	\$ 12,000.00	\$ 12,000		\$ 12,000		
	Soil Restoration- 1' Depth	1245 CY	\$ 40.00	\$ 49,800		\$ 49,800		
	Salt Pollution Soil Remediation	554 CY	\$ 40.00	\$ 22,160		\$ 22,160		
	Stormwater Infrastructure	1 LS	\$ 18,000.00	\$ 18,000		\$ 18,000		
1.2	<b>Parking - New On-Street Angled Parking (49 Spaces)</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	1,020 SY	\$ 32.00	\$ 32,640		\$ 32,640		
	Tire/Wheel Stops	49 EA	\$ 100.00	\$ 4,900		\$ 4,900		
	Striping	960 LF	\$ 1.00	\$ 960		\$ 960		
	Signage (One way)	2 EA	\$ 250.00	\$ 500		\$ 500		
1.3	<b>Parking - Improve Existing On-Street Angled Parking (37 Spaces)</b>							
	Tire/Wheel Stops	37 EA	\$ 100.00	\$ 3,700		\$ 3,700		
	Restripe Parking Spaces	720 EA	\$ 1.00	\$ 720		\$ 720		
	Asphalt Walkway - 8' Width	365 SY	\$ 25.00	\$ 9,125		\$ 9,125		
1.4	<b>Parking - Reconfigure Existing Off-Street Parking (81 Spaces)</b>							
	Mill and Resurface Asphalt Paving	2,331 SY	\$ 18.00	\$ 41,958		\$ 41,958		
	Curbing (at Entrances)	269 LF	\$ 25.00	\$ 6,725		\$ 6,725		
	Tire/Wheel Stops	81 EA	\$ 100.00	\$ 8,100		\$ 8,100		
	Striping	1,460 LF	\$ 1.00	\$ 1,460		\$ 1,460		
	Crosswalk Striping	2 EA	\$ 500.00	\$ 1,000		\$ 1,000		
	Parking area Signage-ADA Parking	4 EA	\$ 250.00	\$ 1,000		\$ 1,000		
1.5	<b>Site Amenities</b>							
	Shade Trees	19 EA	\$ 500.00	\$ 9,500		\$ 9,500		
	<b>Sub Total</b>			<b>\$ 281,182</b>	<b>\$ -</b>	<b>\$ 281,182</b>	<b>\$ -</b>	<b>\$ -</b>
2.0	Balthaser Road Entrance Improvements							
2.1	<b>Site Preparation</b>							
	Site Grading	2,330 SY	\$ 8.50	\$ 19,805		\$ 19,805		
	Stormwater Infrastructure	1 LS	\$ 12,000.00	\$ 12,000		\$ 12,000		
2.2	<b>Parking - New Off-Street Angled Parking (50 Spaces)</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	2,325 SY	\$ 32.00	\$ 74,400		\$ 74,400		
	Curbing (at Entrances)	336 LF	\$ 25.00	\$ 8,400		\$ 8,400		
	Tire/Wheel Stops	50 EA	\$ 100.00	\$ 5,000		\$ 5,000		
	Striping	900 LF	\$ 1.00	\$ 900		\$ 900		
	ADA Parking area Signage	2 EA	\$ 500.00	\$ 1,000		\$ 1,000		
	Crosswalk Striping	2 EA	\$ 500.00	\$ 1,000		\$ 1,000		
	Special Paving at Drop-off	1,520 SF	\$ 18.00	\$ 27,360		\$ 27,360		
2.3	<b>Site Amenities</b>							
	Asphalt Walkway - 8' Width	610 SY	\$ 25.00	\$ 15,250		\$ 15,250		
	Shade Trees	14 EA	\$ 500.00	\$ 7,000		\$ 7,000		
2.4	<b>Street Improvements</b>							
	Speed Tables (along Balthaser)	3 EA	\$ 4,000.00	\$ 12,000		\$ 12,000		
	Concrete Sidewalks - 5' wide (both sides)	8,825 SF	\$ 7.50	\$ 66,188		\$ 66,188		
	Crosswalk Striping	4 EA	\$ 500.00	\$ 2,000		\$ 2,000		
	Street Trees	9 EA	\$ 500.00	\$ 4,500		\$ 4,500		
	<b>Sub Total</b>			<b>\$ 256,803</b>	<b>\$ -</b>	<b>\$ 256,803</b>	<b>\$ -</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
<b>3.0</b>	<b>Laport Street Entrance Improvements</b>							
<b>3.1</b>	<b>Site Preparation</b>							
	Demo Ex. Paving - (Disposal Included)	3115 SY	\$ 6.50	\$ 20,248	\$ 20,248			
	Site Grading	4,000 SY	\$ 8.50	\$ 34,000	\$ 34,000			
	Soil Restoration- 1' Depth	500 CY	\$ 40.00	\$ 20,000	\$ 20,000			
	Stormwater Infrastructure	1 LS	\$ 18,000.00	\$ 18,000	\$ 18,000			
<b>3.2</b>	<b>Promenade Drop-off Area</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	365 SY	\$ 32.00	\$ 11,680	\$ 11,680			
	Curbing (at Entrances)	485 LF	\$ 22.00	\$ 10,670	\$ 10,670			
	Parking area Signage (One Way)	2 EA	\$ 500.00	\$ 1,000	\$ 1,000			
	Special Paving at Drop-off	1,120 SF	\$ 18.00	\$ 20,160	\$ 20,160			
	Grosswalk Striping	2 EA	\$ 500.00	\$ 1,000	\$ 1,000			
	Benches	1 EA	\$ 1,200.00	\$ 1,200	\$ 1,200			
	Asphalt Walkway	125 SY	\$ 25.00	\$ 3,125	\$ 3,125			
<b>3.3</b>	<b>Park Entry Plaza</b>							
	Plaza Special Paving	850 SF	\$ 18.00	\$ 15,300	\$ 15,300			
	Walkway - Concrete Paving	750 SF	\$ 7.50	\$ 5,625	\$ 5,625			
	Flag	1 EA	\$ 4,000.00	\$ 4,000	\$ 4,000			
	Shade Trees	4 SF	\$ 500.00	\$ 2,000	\$ 2,000			
	Plantings	300 SF	\$ 6.50	\$ 1,950	\$ 1,950			
	Park Signage	1 EA	\$ 2,000.00	\$ 2,000	\$ 2,000			
	Benches	4 EA	\$ 1,200.00	\$ 4,800	\$ 4,800			
<b>3.4</b>	<b>Parking Area - Michael Jones Memorial Field (40 Spaces)</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	1,340 SY	\$ 32.00	\$ 42,880	\$ 42,880			
	Curbing (at Entrances)	130 LF	\$ 25.00	\$ 3,250	\$ 3,250			
	Tire/Wheel Stops	40 EA	\$ 100.00	\$ 4,000	\$ 4,000			
	Parking Striping	36 LF	\$ 1.00	\$ 36	\$ 36			
	Parking area Signage (One Way)	2 EA	\$ 250.00	\$ 500	\$ 500			
	Shade Trees	7 EA	\$ 500.00	\$ 3,500	\$ 3,500			
<b>3.5</b>	<b>Parking Area - Playground Area (20 Spaces)</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	1,390 SY	\$ 32.00	\$ 44,480	\$ 44,480			
	Curbing (at Drop-off)	90 LF	\$ 25.00	\$ 2,250	\$ 2,250			
	Tire/Wheel Stops	20 EA	\$ 100.00	\$ 2,000	\$ 2,000			
	Park Striping	18 LF	\$ 1.00	\$ 18	\$ 18			
	Parking area Signage (One-way)	4 EA	\$ 250.00	\$ 1,000	\$ 1,000			
	Grosswalk Striping	2 EA	\$ 500.00	\$ 1,000	\$ 1,000			
<b>3.6</b>	<b>Teener Field Drop-off Area</b>							
	Special Paving at Drop-off	680 SF	\$ 18.00	\$ 12,240	\$ 12,240			
<b>3.7</b>	<b>Football Drop-off Area</b>							
	Special Paving at Drop-off	240 SF	\$ 18.00	\$ 4,320	\$ 4,320			
<b>3.8</b>	<b>Street Improvements</b>							
	Speed Tables	1 EA	\$ 4,000.00	\$ 4,000	\$ 4,000			
	Sidewalks- Concrete Paving	2,635 SF	\$ 7.50	\$ 19,763	\$ 19,763			
	Shade Trees	9 EA	\$ 500.00	\$ 4,500	\$ 4,500			
			<b>Sub Total</b>	<b>\$ 326,494</b>	<b>\$ 326,494</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
<b>4.0</b>	<b>Koons Park Road Entrance Improvements</b>							
<b>4.1</b>	<b>Site Preparation</b>							
	Demo Ex. Paving (Disposal Included)	2945 SY	\$ 6.50	\$ 19,143			\$ 19,143	
	Soil Restoration- 1' Depth	750 CY	\$ 40.00	\$ 30,000			\$ 30,000	
	Site Grading	2,945 SY	\$ 8.50	\$ 25,033			\$ 25,033	
	Demo Practice T-ball Field Structures	1 LS	\$ 5,000.00	\$ 5,000			\$ 5,000	
	Stormwater Infrastructure	1 LS	\$ 12,000.00	\$ 12,000			\$ 12,000	
<b>4.2</b>	<b>Promenade Entry Plaza</b>							
	Special Paving at Plaza	3,443 SF	\$ 18.00	\$ 61,974			\$ 61,974	
	Statue	5,000 LS	\$ 1.00	\$ 5,000			\$ 5,000	
<b>4.3</b>	<b>Entrance Drive / Parking Area - (49 Spaces)</b>							
	Asphalt Paving - 6" (2A Stone Base Included)	2,840 SY	\$ 32.00	\$ 90,880			\$ 90,880	
	Curbing (at Drop-off and Entrances)	467 LF	\$ 25.00	\$ 11,675			\$ 11,675	
	Tire/Wheel Stops	49 EA	\$ 100.00	\$ 4,900			\$ 4,900	
	Striping	41 LF	\$ 1.00	\$ 41			\$ 41	
	Parking area Signage (ADA Parking)	4 EA	\$ 500.00	\$ 2,000			\$ 2,000	
	Park Sign	1 LS	\$ 2,000.00	\$ 2,000			\$ 2,000	
	Crosswalk Striping	1 EA	\$ 500.00	\$ 500			\$ 500	
<b>4.4</b>	<b>Site Amenities</b>							
	Asphalt Walkway - 8' & 5' Width	745 SY	\$ 25.00	\$ 18,625			\$ 18,625	
	Shade Trees	32 EA	\$ 500.00	\$ 16,000			\$ 16,000	
<b>4.5</b>	<b>Rain Garden</b>							
	Bio Swale/ Rain Garden Plantings	1,405 SY	\$ 12.00	\$ 16,860			\$ 16,860	
	Soil Amended	425 CY	\$ 60.00	\$ 25,500			\$ 25,500	
	Drainage pipe (12" HDPE)	200 LF	\$ 35.00	\$ 7,000			\$ 7,000	
	Pipe End Sections	4 EA	\$ 1,100.00	\$ 4,400			\$ 4,400	
	Meadow Planting	1,150 SF	\$ 0.30	\$ 345			\$ 345	
	<b>Sub Total</b>			<b>\$ 358,875</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 358,875</b>	<b>\$ -</b>
<b>5.0</b>	<b>Central Promenade Area</b>							
<b>5.1</b>	<b>Site Amenities</b>							
	Concrete Walkway - 15' Width	1,4326 SF	\$ 7.50	\$ 107,445		\$ 62,370	\$ 45,075	
	Zero Depth Water Play Fountain	1 LS	\$ 45,000.00	\$ 45,000			\$ 45,000	
	Benches	16 EA	\$ 1,200.00	\$ 19,200		\$ 9,600	\$ 9,600	
	Shade Trees	45 EA	\$ 500.00	\$ 22,500		\$ 13,000	\$ 9,500	
	Stormwater Infrastructure	1 LS	\$ 9,000.00	\$ 9,000		\$ 9,000		
<b>5.2</b>	<b>Structures</b>							
	Pavilion with Restrooms	1 LS	\$ 125,000.00	\$ 125,000			\$ 82,000	
	Bandshell (2400 SF)	1 LS	\$ 60,000.00	\$ 60,000			\$ 60,000	
	<b>Sub Total</b>			<b>\$ 388,145</b>	<b>\$ -</b>	<b>\$ 93,970</b>	<b>\$ 251,175</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
<b>6.0</b>	<b>Hard Court Game Area</b>							
	<b>Site Preparation</b>							
	Site Grading	996 SY	\$ 5.00	\$ 4,980			\$ 4,980	
	Demo Existing Playground Equipment & Pavilion	1 LS	\$ 20,000.00	\$ 20,000	\$ 20,000			
	Demo Existing Volleyball Court Paving	400 SY	\$ 6.50	\$ 2,600			\$ 2,600	
	Demo Practice Field Structures	1 LS	\$ 5,000.00	\$ 5,000			\$ 5,000	
	Stormwater Infrastructure	1 LS	\$ 9,000.00	\$ 9,000			\$ 9,000	
<b>6.1</b>	<b>Tot-Lot Playground (Ages 0-5)</b>							
	New playground Equipment	1 LS	\$ 75,000.00	\$ 75,000	\$ 75,000			
	Safety Surface- Poured in Place	645 SY	\$ 45.00	\$ 29,025	\$ 29,025			
	Concrete Flush Curb Edging	367 LF	\$ 30.00	\$ 11,010	\$ 11,010			
<b>6.2</b>	<b>Playground (Ages 5-12)</b>							
	New playground	1 LS	\$ 75,000.00	\$ 75,000			\$ 75,000	
	Safety Surface- Poured in Place (base included)	785 SY	\$ 45.00	\$ 35,325			\$ 35,325	
	Concrete Flush Curb Edging	312 LF	\$ 30.00	\$ 9,360			\$ 9,360	
<b>6.3</b>	<b>Basketball Court</b>							
	Court Surfacing	2244 SY	\$ 4.50	\$ 10,098			\$ 10,098	
	Team Benches	4 EA	\$ 800.00	\$ 3,200			\$ 3,200	
<b>6.4</b>	<b>Volley Ball Court Rebuild</b>							
	Court Paving	400 SY	\$ 25.00	\$ 10,000			\$ 10,000	
	Volley Ball Nets	2 EA	\$ 500.00	\$ 1,000			\$ 1,000	
<b>6.5</b>	<b>Sand Volley Ball Courts- New</b>							
	Excavation- 12" deep	133 CY	\$ 35.00	\$ 4,655			\$ 4,655	
	Sand	133 CY	\$ 30.00	\$ 3,990			\$ 3,990	
	Edging Material	360 LF	\$ 10.00	\$ 3,600			\$ 3,600	
	Geo Fabric	400 SY	\$ 4.00	\$ 1,600			\$ 1,600	\$ -
	Volley Ball Nets	2 EA	\$ 500.00	\$ 1,000			\$ 1,000	
<b>6.6</b>	<b>Site Amenities</b>							
	Asphalt Walkway - Varying Width	2,100 SY	\$ 25.00	\$ 52,500	\$ 10,500		\$ 42,000	
	Shade Trees	25 EA	\$ 500.00	\$ 12,500			\$ 12,500	
<b>6.7</b>	<b>Structures</b>							
	New Pavilion (2150 SF)	1 LS	\$ 5,400.00	\$ 5,400	\$ 5,400			
	New Concession Stand (930 SF)	1 LS	\$ 100,000.00	\$ 100,000			\$ 100,000	
			<b>Sub Total</b>	<b>\$ 485,843</b>	<b>\$ 150,935</b>	<b>\$ -</b>	<b>\$ 334,908</b>	<b>\$ -</b>
<b>7.0</b>	<b>Lawn Game Area</b>							
<b>7.1</b>	<b>Site Preparation</b>							
	Demo Pony Filled Structures	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
<b>7.2</b>	<b>Site Amenities</b>							
	Asphalt Walkway - 8' & 5' Width	445 SY	\$ 25.00	\$ 11,125			\$ 11,125	
	Swing Set	1 EA	\$ 5,000.00	\$ 5,000			\$ 5,000	
	Shade Trees	11 EA	\$ 500.00	\$ 5,500		\$ 2,500	\$ 3,000	
<b>7.3</b>	<b>Structures</b>							
	New Pavilion	1079 SF	\$ 25.00	\$ 26,975			\$ 26,975	
<b>7.4</b>	<b>Rain Garden</b>							
	Bio Swales/ Rain Garden Plantings	1600 SY	\$ 12.00	\$ 19,200		\$ 16,320	\$ 2,880	
	Soil Amended	540 CY	\$ 60.00	\$ 32,400		\$ 27,540	\$ 4,860	
	Drainage pipe (12" HDPE)	40 LF	\$ 35.00	\$ 1,400			\$ 1,400	
	Pipe End Sections	2 EA	\$ 1,100.00	\$ 2,200			\$ 2,200	
	Meadow Planting	1,150 SF	\$ 0.30	\$ 345		\$ 345		
			<b>Sub Total</b>	<b>\$ 109,145</b>	<b>\$ -</b>	<b>\$ 51,705</b>	<b>\$ 57,440</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
<b>8.0</b>	<b>Teener Baseball Field Area</b>							
<b>8.1</b>	<b>Site Preparation</b>							
	Demo Softball Structures	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
	Site Grading	18,153 SY	\$ 8.50	\$ 154,301		\$ 154,301		
<b>8.2</b>	<b>Field Development</b>							
	Field Under Drains	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
	Infield- Clay Brick/Clay Mix	205 CY	\$ 80.00	\$ 16,400		\$ 16,400		
	Turf Seeding - Field and Surrounding Area	135,050 SF	\$ 0.15	\$ 20,258		\$ 20,258		
	Field Backstop	1 EA	\$ 6,000.00	\$ 6,000		\$ 6,000		
	Field Fencing	1,160 LF	\$ 18.00	\$ 20,880		\$ 20,880		
	Team Dugouts and Benches	2 EA	\$ 3,500.00	\$ 7,000		\$ 7,000		
	Relocate Bleachers	2 EA	\$ 150.00	\$ 300		\$ 300		
	Practice Pitching Mounds	2 EA	\$ 1,800.00	\$ 3,600		\$ 3,600		
	Club House/ Storage (90 SF)	1 LS	\$ 7,000.00	\$ 7,000		\$ 7,000		
<b>8.3</b>	<b>Site Amenities</b>							
	Asphalt Walkway - 8' Width	1,054 SY	\$ 25.00	\$ 26,350		\$ 26,350		
	Shade Trees	21 EA	\$ 500.00	\$ 10,500		\$ 10,500		
	<b>Sub Total</b>			<b>\$ 282,588</b>	<b>\$ -</b>	<b>\$ 282,588</b>	<b>\$ -</b>	<b>\$ -</b>
<b>9.0</b>	<b>Football and Practice Fields Area</b>							
<b>9.1</b>	<b>Site Preparation</b>							
	Demo of the existing Tennis Courts	2,735 SY	\$ 6.50	\$ 17,778	\$ 17,778			
	Fill 3' (provided by Township)	11,290 CY	\$ 15.00	\$ 169,350			\$ 169,350	
	Site Grading	23,240 SY	\$ 8.50	\$ 197,540			\$ 197,540	
<b>9.2</b>	<b>Field Development</b>							
	Field Under Drains	1 LS	\$ 10,000.00	\$ 10,000				\$ 10,000
	Field Topsoil Mix	213 CY	\$ 40.00	\$ 8,520				\$ 8,520
	Turf Seeding - Field and Surrounding Area	209,140 SF	\$ 0.15	\$ 31,371				\$ 31,371
	Field Goal Pylon Installation	1 SET	\$ 12,000.00	\$ 12,000				\$ 12,000
	Bleachers	2 EA	\$ 1,200.00	\$ 2,400				\$ 2,400
<b>9.3</b>	<b>Site Amenities</b>							
	Asphalt Walkway - 8' Width	1,620 SY	\$ 25.00	\$ 40,500				\$ 40,500
	Shade Trees	20 EA	\$ 500.00	\$ 10,000				\$ 10,000
	<b>Sub Total</b>			<b>\$ 499,459</b>	<b>\$ 17,778</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 481,681</b>
<b>10.0</b>	<b>Field 3- Pony Baseball Field</b>							
<b>10.1</b>	<b>Site Preparation</b>							
	Demo Teener Structures	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
	Site Grading	5,807 SY	\$ 8.50	\$ 49,360		\$ 49,360		
<b>10.2</b>	<b>Field Development</b>							
	Field Under Drains	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
	Infield- Clay Brick/Clay Mix	75 CY	\$ 80.00	\$ 6,000		\$ 6,000		
	Turf Seeding - Field and Surrounding Area	48,259 SF	\$ 0.15	\$ 7,239		\$ 7,239		
	Field Backstop	1 EA	\$ 6,000.00	\$ 6,000		\$ 6,000		
	Field Fencing	700 LF	\$ 18.00	\$ 12,600		\$ 12,600		
	Team Dugouts and Benches	2 EA	\$ 3,500.00	\$ 7,000		\$ 7,000		
	Relocate Bleachers	2 EA	\$ 150.00	\$ 300		\$ 300		
	Practice Pitching Mounds	2 EA	\$ 1,800.00	\$ 3,600		\$ 3,600		
	Club House/ Storage (90 SF)	1 LS	\$ 7,000.00	\$ 7,000		\$ 7,000		
<b>10.3</b>	<b>Site Amenities</b>							
	Asphalt Walkway - 12' Width	720 SY	\$ 25.00	\$ 18,000		\$ 18,000		
	Shade Trees	3 EA	\$ 500.00	\$ 1,500		\$ 1,500		
	<b>Sub Total</b>			<b>\$ 128,598</b>	<b>\$ -</b>	<b>\$ 128,598</b>	<b>\$ -</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
11.0	Michael Jones Memorial Field Area							
11.1	<b>Field Rehab</b>							
	Field Under Drains	1 LS	\$ 5,000.00	\$ 5,000				\$ 5,000
	Infield- Clay Brick/Clay Mix	75 CY	\$ 80.00	\$ 6,000				\$ 6,000
	Turf Seeding - Field and Surrounding Area	36,200 SF	\$ 0.15	\$ 5,430				\$ 5,430
	Field Fencing	700 LF	\$ 18.00	\$ 12,600				\$ 12,600
	Practice Pitching Mounds	2 EA	\$ 1,800.00	\$ 3,600				\$ 3,600
11.2	<b>Site Amenities</b>							
	Asphalt Walkway - 12' & 8' Width	840 SY	\$ 25.00	\$ 21,000	\$ 10,570		\$ 10,430	
	Shade Trees	13 EA	\$ 500.00	\$ 6,500	\$ 2,000		\$ 4,500	
	<b>Sub Total</b>			<b>\$ 60,130</b>	<b>\$ 12,570</b>	<b>\$ -</b>	<b>\$ 14,930</b>	<b>\$ 32,630</b>
12.0	<b>T-Ball Field Area</b>							
12.1	<b>Site Preparation</b>							
	Site Grading	6,488 SY	\$ 8.50	\$ 55,148				
12.2	<b>Field Development</b>							
	Field Under Drains	1 LS	\$ 5,000.00	\$ 5,000				
	Infield- Clay Brick/Clay Mix	60 CY	\$ 80.00	\$ 4,800				
	Turf Seeding - Field and Surrounding Area	35,200 SF	\$ 0.15	\$ 5,280				
	Field Backstop	1 EA	\$ 6,000.00	\$ 6,000				
	Field Fencing	445 LF	\$ 18.00	\$ 8,010				
	Team Dugouts and Benches	2 EA	\$ 3,500.00	\$ 7,000				
	Relocate Bleachers	2 EA	\$ 150.00	\$ 300				
	Club House/ Storage	1 LS	\$ 4,000.00	\$ 4,000				
12.3	<b>Site Amenities</b>							
	Shade Trees	12 EA	\$ 500.00	\$ 6,000				
12.4	<b>Rain Garden</b>							
	Bio Swale/ Rain Garden Plantings	2,020 SY	\$ 12.00	\$ 24,240	\$ 18,180	\$ 6,060		
	Soil Amended	680 CY	\$ 60.00	\$ 40,800	\$ 30,600	\$ 10,200		
	Drainage pipe (12" HDPE)	80 LF	\$ 35.00	\$ 2,800	\$ 2,800			
	Pipe End Sections	2 EA	\$ 1,100.00	\$ 2,200	\$ 2,200			
	Meadow Planting	5,000 SF	\$ 0.30	\$ 1,500	\$ 1,125	\$ 375		
	<b>Sub Total</b>			<b>\$ 173,078</b>	<b>\$ 54,905</b>	<b>\$ 118,173</b>	<b>\$ -</b>	<b>\$ -</b>
	<b>SITE IMPROVEMENT SUB TOTALS</b>			<b>\$ 3,350,339</b>	<b>\$ 562,682</b>	<b>\$ 1,213,019</b>	<b>\$ 1,017,328</b>	<b>\$ 514,311</b>
	<b>SITE PREPARATION</b>							
	Mobilization (2%)	1 LS	\$ 67,006.79	\$ 67,007	\$ 11,254	\$ 24,260	\$ 20,347	\$ 10,286
	E&S Controls (4.5%)	1 LS	\$ 150,765.27	\$ 150,765	\$ 25,321	\$ 54,586	\$ 45,780	\$ 23,144
	<b>SUBTOTAL</b>			<b>\$ 217,772</b>	<b>\$ 36,574</b>	<b>\$ 78,846</b>	<b>\$ 66,126</b>	<b>\$ 33,430</b>
	<b>TOTAL ESTIMATED CONSTRUCTION COST</b>			<b>\$ 3,568,111</b>	<b>\$ 599,256</b>	<b>\$ 1,291,865</b>	<b>\$ 1,083,454</b>	<b>\$ 547,741</b>
	<b>CONSTRUCTION CONTINGENCY (10%)</b>			<b>\$ 356,811</b>	<b>\$ 59,926</b>	<b>\$ 129,187</b>	<b>\$ 108,345</b>	<b>\$ 54,774</b>
	<b>DESIGN &amp; ENGINEERING FEE (1.5%)</b>			<b>\$ 535,217</b>	<b>\$ 89,888</b>	<b>\$ 193,780</b>	<b>\$ 162,518</b>	<b>\$ 82,161</b>
	<b>TOTAL AREA DEVELOPMENT COST</b>			<b>\$ 4,460,139</b>	<b>\$ 749,070</b>	<b>\$ 1,614,831</b>	<b>\$ 1,354,318</b>	<b>\$ 684,677</b>

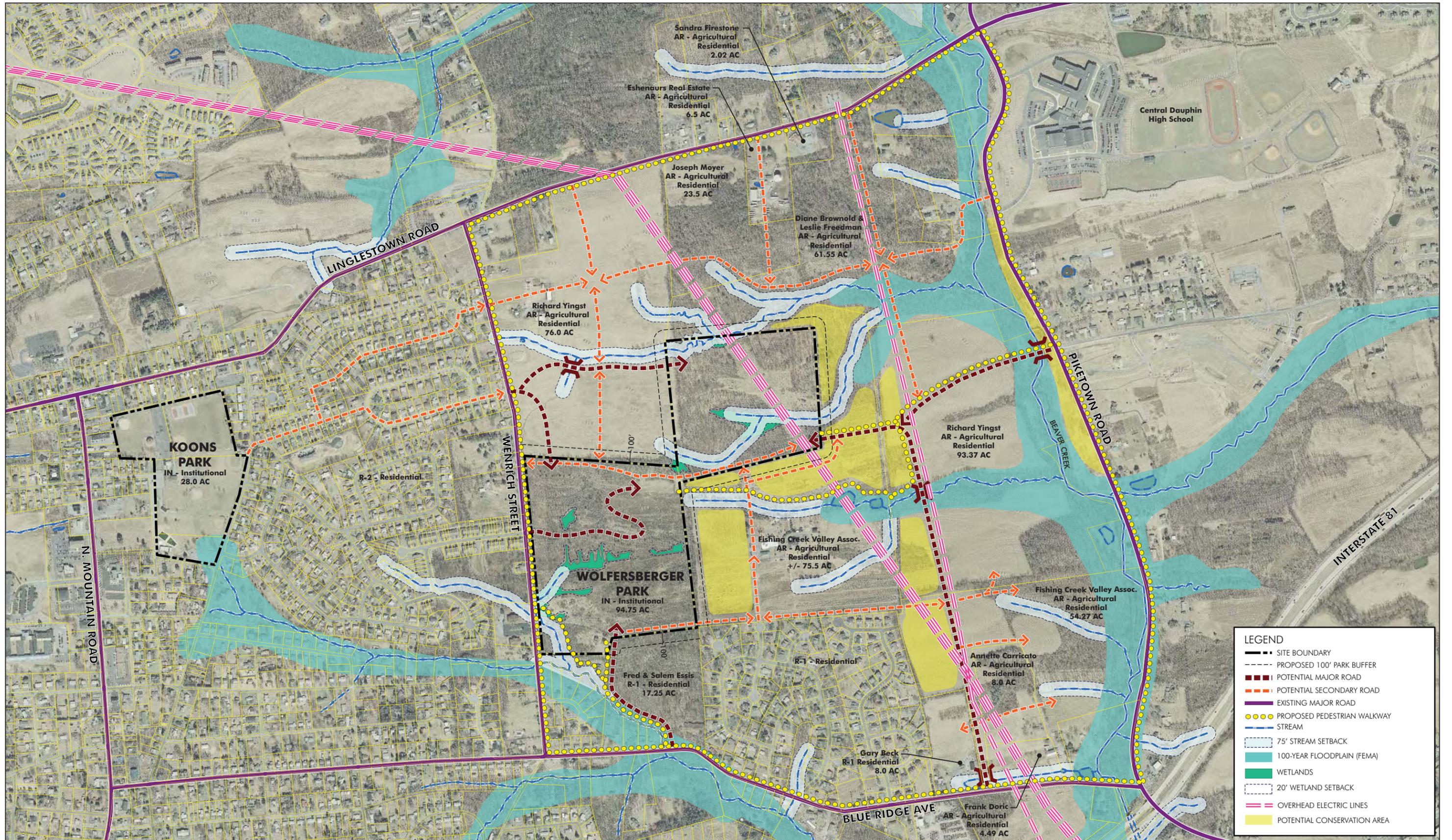
KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
<b>1.0 Site Earthwork</b>								
1.1	Northern Plateau - Southern Parcel Fill - 4' (provided by Township)	34,000 CY	\$ 15.00	\$ 510,000	\$ 510,000			
1.2	Southern Plateau - Southern Parcel Fill - 3' (provided by Township)	28,400 CY	\$ 15.00	\$ 426,000	\$ 426,000			
1.3	Central Plateau - Northern Parcel Fill - 3' (provided by Township)	16,800 CY	\$ 15.00	\$ 252,000	\$ 252,000			
			<b>SUBTOTAL</b>	<b>\$ 1,188,000</b>	<b>\$ 1,188,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
<b>2.0 Site Access Improvements - Southern Parcel</b>								
<b>2.1 Site Preparation</b>								
	Grading- Assume 2' Depth	25,450 CY	\$ 30.00	\$ 763,500	\$ 152,700	\$ 381,750	\$ 229,050	
	Stormwater Infrastructure	1 LS	\$ 350,000.00	\$ 350,000	\$ 70,000	\$ 175,000	\$ 105,000	
<b>2.2 Park Access Road</b>								
	Asphalt Paving - 6" (2A Stone Base Included)	2,045 SY	\$ 32.00	\$ 65,440	\$ 65,440			
	Striping	770 LF	\$ 1.00	\$ 770	\$ 770			
<b>2.3 Main Park Road</b>								
	Asphalt Paving - 6" (2A Stone Base Included)	9,340 SY	\$ 32.00	\$ 298,880	\$ 59,776	\$ 149,440	\$ 89,664	
	Culvert Overpass at Southern Entrance	1 LS	\$ 150,000.00	\$ 150,000	\$ 150,000			
	Striping	3,500 LF	\$ 1.00	\$ 3,500	\$ 700	\$ 1,750	\$ 1,050	
<b>2.4 Main Park Road Trail</b>								
	Asphalt Walking Path - 8' Wide	3,835 SY	\$ 25.00	\$ 95,875	\$ 19,175	\$ 47,938	\$ 28,763	
	Shade Trees	37 EA	\$ 500.00	\$ 18,500	\$ 3,700	\$ 9,250	\$ 5,550	
<b>2.5 Northern Parking Area - 77 Spaces</b>								
	Asphalt Paving - 6" (2A Stone Base Included)	3,110 SY	\$ 32.00	\$ 99,520	\$ 24,880	\$ 74,640		
	Tire/Wheel Stops	77 EA	\$ 100.00	\$ 7,700	\$ 1,925	\$ 5,775		
	Striping	1,360 LF	\$ 1.00	\$ 1,360	\$ 340	\$ 1,020		
	Parking area Signage-ADA Parking	4 EA	\$ 250.00	\$ 1,000	\$ 250	\$ 750		
	Special Paving at Drop-off	2,400 SF	\$ 18.00	\$ 43,200	\$ 10,800	\$ 32,400		
	Shade Trees	33 EA	\$ 500.00	\$ 16,500	\$ 4,125	\$ 12,375		
<b>2.6 Southern Parking Area - 116 Spaces</b>								
	Asphalt Paving - 6" (2A Stone Base Included)	4,485 SY	\$ 32.00	\$ 143,520	\$ 57,408	\$ 86,112		
	Tire/Wheel Stops	116 EA	\$ 100.00	\$ 11,600	\$ 4,640	\$ 6,960		
	Striping	2,100 LF	\$ 1.00	\$ 2,100	\$ 840	\$ 1,260		
	Parking area Signage-ADA Parking	6 EA	\$ 250.00	\$ 1,500	\$ 600	\$ 900		
	Shade Trees	40 EA	\$ 500.00	\$ 20,000	\$ 8,000	\$ 12,000		
<b>2.7 Southern Drop-off Loop</b>								
	Asphalt Paving - 6" (2A Stone Base Included)	650 SY	\$ 32.00	\$ 20,800		\$ 20,800		
	Curbing	615 LF	\$ 22.00	\$ 13,530		\$ 13,530		
	Parking area Signage (One Way)	2 EA	\$ 500.00	\$ 1,000		\$ 1,000		
	Special Paving at Drop-off	2,290 SF	\$ 18.00	\$ 41,220		\$ 41,220		
	Benches	2 EA	\$ 1,200.00	\$ 2,400		\$ 2,400		
			<b>SUBTOTAL</b>	<b>\$ 2,173,415</b>	<b>\$ 636,069</b>	<b>\$ 892,088</b>	<b>\$ 645,259</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
3.0	<b>Site Access Improvements - Northern Parcel</b>							
3.1	<b>Site Preparation</b>							
	Grading- Assume 2' Depth	5,560 CY	\$ 30.00	\$ 166,800		\$ 101,420	\$ 65,380	
3.2	<b>Park Road and Parking -</b>							
	Asphalt Paving - 6' (2A Stone Base Included)	2,535 SY	\$ 32.00	\$ 81,120		\$ 81,120		
	Striping	767 LF	\$ 1.00	\$ 767		\$ 767		
3.2	<b>Main Park Road Trail</b>							
	Asphalt Walking Path - 8' Wide	1,015 SY	\$ 25.00	\$ 25,375		\$ 25,375		
3.4	<b>Southern Parking Area- 55 Spaces</b>							
	Asphalt Paving - 6' (2A Stone Base Included)	2,490 SY	\$ 32.00	\$ 79,680		\$ 79,680		
	Tire/Wheel Stops	55 EA	\$ 100.00	\$ 5,500		\$ 5,500		
	Striping	480 LF	\$ 1.00	\$ 480		\$ 480		
	Parking area Signage-ADA Parking	4 EA	\$ 250.00	\$ 1,000		\$ 1,000		
	Shade Trees	12 EA	\$ 500.00	\$ 6,000		\$ 6,000		
3.4	<b>Neighborhood Park Entrance - 11 Spaces</b>							
	Asphalt Paving - 6' (2A Stone Base Included)	770 SY	\$ 32.00	\$ 24,640			\$ 24,640	
	Tire/Wheel Stops	11 EA	\$ 100.00	\$ 1,100			\$ 1,100	
	Striping	200 LF	\$ 1.00	\$ 200			\$ 200	
	Parking area Signage-ADA Parking	2 EA	\$ 250.00	\$ 500			\$ 500	
	Shade Trees	4 EA	\$ 500.00	\$ 2,000			\$ 2,000	
	<b>SUBTOTAL</b>			<b>\$ 395,162</b>	<b>\$ -</b>	<b>\$ 301,342</b>	<b>\$ 93,820</b>	<b>\$ -</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
4.0	<b>Southern Parcel - Northern Plateau Activity Area</b>							
4.1	<b>Site Preparation</b>							
	Grading- Assume 0.5' Depth	6,485 CY	\$ 30.00	\$ 194,550		\$ 194,550		
4.2	<b>Tennis Courts</b>							
	Court Base	2,825 SY	\$ 30.00	\$ 84,750		\$ 84,750		
	Color Coat Surface and Apply Lines	25,420 SF	\$ 0.30	\$ 7,626		\$ 7,626		
	Nets	4 EA	\$ 500.00	\$ 2,000		\$ 2,000		
	Fencing	675 LF	\$ 18.00	\$ 12,150		\$ 12,150		
4.3	<b>Multi Purpose Field Development</b>							
	Field Under Drains	1 LS	\$ 10,000.00	\$ 10,000		\$ 10,000		
	Infield- Clay Brick/Clay Mix	160 CY	\$ 80.00	\$ 12,800		\$ 12,800		
	Field Top Soil	890 CY	\$ 40.00	\$ 35,600		\$ 35,600		
	Turf Seeding - Field and Surrounding Area	125,760 SF	\$ 0.15	\$ 18,864		\$ 18,864		
	Field Backstop	1 EA	\$ 6,000.00	\$ 6,000		\$ 6,000		
	Portable Field Fencing	1,160 LF	\$ 25.00	\$ 29,000		\$ 29,000		
	Team Dugouts and Benches	2 EA	\$ 3,500.00	\$ 7,000		\$ 7,000		
	Bleachers	2 EA	\$ 3,000.00	\$ 6,000		\$ 6,000		
4.4	<b>Playground (Ages 5-12)</b>							
	New playground	1 LS	\$ 75,000.00	\$ 75,000		\$ 75,000		
	Safety Surface- Poured in Place (base included)	1075 SY	\$ 45.00	\$ 48,375		\$ 48,375		
	Concrete Flush Curb Edging	373 LF	\$ 30.00	\$ 11,190		\$ 11,190		
4.5	<b>Site Amenities</b>							
	Asphalt Walking Path - 8' & 6' Wide	2,910 SY	\$ 25.00	\$ 72,750		\$ 72,750		
	Shade Trees	20 EA	\$ 500.00	\$ 10,000		\$ 10,000		
	Lawn Seeding	61,200 SF	\$ 0.15	\$ 9,180		\$ 9,180		
	Tree Restoration Area	1.7 AC	\$ 5,000.00	\$ 8,600		\$ 8,600		
	Meadow Seeding	244,800.0 SF	\$ 0.30	\$ 73,440		\$ 73,440		
	Trash Receptacles	3 EA	\$ 800.00	\$ 2,400		\$ 2,400		
	Benches	6 SF	\$ 12,000.00	\$ 72,000		\$ 72,000		
4.6	<b>Structures</b>							
	Park Pavilion/Restrooms/ Storage (2075)	1 LS	\$ 125,000.00	\$ 125,000		\$ 125,000		
	Tennis Pavilion (720)	1 LS	\$ 40,000.00	\$ 40,000		\$ 40,000		
4.7	<b>Rain Garden</b>							
	Bio Swale/ Rain Garden Plantings	1000 SY	\$ 12.00	\$ 12,000		\$ 12,000		
	Soil Amended	330 CY	\$ 60.00	\$ 19,800		\$ 19,800		
	Drainage pipe (12" HDPE)	300 LF	\$ 35.00	\$ 10,500		\$ 10,500		
	Pipe End Sections	2 EA	\$ 1,100.00	\$ 2,200		\$ 2,200		
			<b>SUBTOTAL</b>	<b>\$ 1,018,775</b>	<b>\$</b>	<b>\$ 1,018,775</b>	<b>\$</b>	<b>\$</b>
5.0	<b>Dog Park Area</b>							
5.1	<b>Site Preparation</b>							
	Grading- Assume 0.5' Depth	2,040 CY	\$ 30.00	\$ 61,200	\$ 61,200			
5.2	<b>Dog Park</b>							
	Fountain	1 EA	\$ 25,000.00	\$ 25,000	\$ 25,000			
	Trash Receptacles	3 EA	\$ 800.00	\$ 2,400	\$ 2,400			
	Benches	6 SF	\$ 12,000.00	\$ 72,000	\$ 72,000			
	Signage	2 EA	\$ 500.00	\$ 1,000	\$ 1,000			
	Fencing	1,350 LF	\$ 25.00	\$ 33,750	\$ 33,750			
	Turf Seeding - Field and Surrounding Area	110,402 SF	\$ 0.15	\$ 16,560	\$ 16,560			
	Shade Trees	20 EA	\$ 500.00	\$ 10,000	\$ 10,000			
5.3	<b>Site Amenities</b>							
	Asphalt Walking Path - 8' & 4' Wide	1,280 SY	\$ 25.00	\$ 32,000	\$ 32,000			
	Tree Restoration Area	1.7 AC	\$ 5,000.00	\$ 8,600	\$ 8,600			
			<b>SUBTOTAL</b>	<b>\$ 262,510</b>	<b>\$ 262,510</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>

KEY	ITEM	QUANTITY	UNIT COST	TOTAL COST	PHASE 1	PHASE 2	PHASE 3	PHASE 4
6.0	<b>Southern Parcel - Southern Plateau Activity Area</b>							
6.1	<b>Site Preparation</b>							
	Grading- Assume 0.5' Depth	2,732 CY	\$ 35.00	\$ 95,620			\$ 47,810	\$ 47,810
6.3	<b>Multi Purpose Field Development</b>							
	Field Under Drains	1 LS	\$ 10,000.00	\$ 10,000				\$ 10,000
	Infield- Clay Brick/Clay Mix	160 CY	\$ 80.00	\$ 12,800				\$ 12,800
	Field Top Soil	2,732 CY	\$ 40.00	\$ 109,280				\$ 109,280
	Turf Seeding - Field and Surrounding Area	100,000 SF	\$ 0.15	\$ 15,000				\$ 15,000
	Field Backstop	1 EA	\$ 6,000.00	\$ 6,000				\$ 6,000
	Portable Field Fencing	1,160 LF	\$ 25.00	\$ 29,000				\$ 29,000
	Team Dugouts and Benches	2 EA	\$ 3,500.00	\$ 7,000				\$ 7,000
	Bleachers	2 EA	\$ 3,000.00	\$ 6,000				\$ 6,000
6.4	<b>Playground (Ages 5-12)</b>							
	New playground	1 LS	\$ 75,000.00	\$ 75,000			\$ 75,000	
	Safety Surface- Poured in Place (base included)	1075 SY	\$ 45.00	\$ 48,375			\$ 48,375	
	Concrete Flush Curb Edging	373 LF	\$ 30.00	\$ 11,190			\$ 11,190	
6.5	<b>Site Amenities</b>							
	Asphalt Walking Path - Varying Widths	2,806 SY	\$ 25.00	\$ 70,150			\$ 70,150	
	Boardwalk	2,640 SF	\$ 32.00	\$ 84,480			\$ 84,480	
	Trash Receptacles	3 EA	\$ 800.00	\$ 2,400			\$ 2,400	
	Benches	6 SF	\$ 12,000.00	\$ 72,000			\$ 72,000	
	Shade Trees	20 EA	\$ 500.00	\$ 10,000			\$ 10,000	
	Lawn Seeding	31,000 SF	\$ 0.15	\$ 4,650			\$ 4,650	
	Tree Restoration Area	0.7 AC	\$ 5,000.00	\$ 3,600			\$ 3,600	
6.6	<b>Structures</b>							
	Park Pavilion/Restrooms/ Storage (2075)	1 LS	\$ 125,000.00	\$ 125,000			\$ 125,000	
6.7	<b>Rain Garden</b>							
	Bio Swale/ Rain Garden Plantings	7360 SY	\$ 12.00	\$ 88,320			\$ 44,160	\$ 44,160
	Soil Amended	2,450 CY	\$ 60.00	\$ 147,000			\$ 73,500	\$ 73,500
	Drainage pipe (12" HDPE)	200 LF	\$ 35.00	\$ 7,000			\$ 3,500	\$ 3,500
	Pipe End Sections	5 EA	\$ 1,100.00	\$ 5,500			\$ 2,750	\$ 2,750
			<b>SUBTOTAL</b>	<b>\$ 1,045,565</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 678,565</b>	<b>\$ 366,800</b>
6.0	<b>Northern Parcel Site Improvements</b>							
6.1	<b>Site Preparation</b>							
	Grading- Assume 0.5' Depth	1,465 CY	\$ 30.00	\$ 43,950		\$ 43,950		
6.3	<b>Multi Purpose Field Development</b>							
	Field Under Drains	1 LS	\$ 5,000.00	\$ 5,000		\$ 5,000		
	Field Top Soil	1,465 CY	\$ 40.00	\$ 58,600		\$ 58,600		
	Turf Seeding - Field and Surrounding Area	80,000 SF	\$ 0.15	\$ 12,000		\$ 12,000		
6.5	<b>Site Amenities</b>							
	Asphalt Walking Path - 8' wide	4,820 SY	\$ 25.00	\$ 120,500		\$ 84,350	\$ 36,150	
	Wetland Mulched Path - 5' wide	70 CY	\$ 35.00	\$ 2,450		\$ 2,450		
	Hiking Gravel Path - 5' wide	1,636 SY	\$ 10.00	\$ 16,360			\$ 16,360	
	Footbridges	2.0 EA	\$ 5,000.00	\$ 10,000			\$ 5,000	\$ 5,000
	Boardwalk	1,310 SF	\$ 32.00	\$ 41,920			\$ 41,920	
	Trash Receptacles	6 EA	\$ 800.00	\$ 4,800		\$ 2,400	\$ 2,400	
	Benches	12 SF	\$ 1,200.00	\$ 14,400		\$ 7,200	\$ 7,200	
	Picnic Tables	12 SF	\$ 1,000.00	\$ 12,000		\$ 6,000	\$ 6,000	\$ 6,000
	Meadow Seeding	132,000.0 SF	\$ 0.30	\$ 39,600			\$ 19,800	\$ 19,800
6.6	<b>Structures</b>							
	Park Pavilion/Restrooms/ Storage (1000)	1 LS	\$ 125,000.00	\$ 125,000			\$ 125,000	
	Picnic Pavilion (600SF)	2 LS	\$ 30,000.00	\$ 60,000			\$ 60,000	
			<b>SUBTOTAL</b>	<b>\$ 566,580</b>	<b>\$ -</b>	<b>\$ 213,500</b>	<b>\$ 305,920</b>	<b>\$ 47,160</b>





**LEGEND**

- SITE BOUNDARY
- - - - PROPOSED 100' PARK BUFFER
- POTENTIAL MAJOR ROAD
- POTENTIAL SECONDARY ROAD
- EXISTING MAJOR ROAD
- PROPOSED PEDESTRIAN WALKWAY
- STREAM
- 75' STREAM SETBACK
- 100-YEAR FLOODPLAIN (FEMA)
- WETLANDS
- 20' WETLAND SETBACK
- OVERHEAD ELECTRIC LINES
- POTENTIAL CONSERVATION AREA



- 1 RELOCATED TEENER FIELD
- 2 PARKING LOT (79)
- 3 NEW FOOTBALL FIELD
- 4 RASPBERRY LANE PARKING (76)
- 5 NEW PRACTICE FIELDS (2)
- 6 LARUE STREET PARKING LOT (20)
- 7 EXISTING PARK MAINTENANCE/RESTROOMS
- 8 RESURFACED VOLLEYBALL COURTS (2)

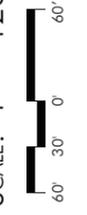
- 9 NEW CONCESSIONS BUILDING
- 10 EXISTING PAVILION
- 11 NEW SAND VOLLEYBALL COURTS (2)
- 12 IMPROVED PONY FIELD
- 13 NEW BATTING CAGES
- 14 NEW TOT LOT PLAYGROUND

- 15 NEW PAVILION
- 16 RESURFACED BASKETBALL COURTS (3)
- 17 MICHAEL JONES MEMORIAL FIELD (MIDGET BASEBALL)
- 18 NEW PLAYGROUND

- 19 NEW T-BALL FIELD
- 20 NEW BALTHASER STREET PARKING LOT (50)
- 21 LAPORTE STREET PARKING LOT (40)
- 22 ENTRY PLAZA / DROP OFF
- 23 ZERO DEPTH FOUNTAIN
- 24 NEW PAVILION W/ RESTROOMS
- 25 BAND PERFORMANCE PAVILION
- 26 SIDEWALK GAME PROMENADE
- 27 EXISTING POOL FACILITY
- 28 KOONS PARK ROAD PARKING LOT (38)
- 29 NEW PAVILION
- 30 EXISTING BOCCIE COURT AREA
- 31 EXISTING PAVILION
- 32 STORMWATER MANAGEMENT AREA (TYP)
- 33 SPEED TABLE/NEW CROSSWALK (TYP)

PROPOSED POOL CONCEPT PLAN (FEASIBILITY STUDY BY OTHERS)

- A POOL
- B PAVILION
- C POOL/PARK CONCESSION STANDS
- D BATHHOUSE / PARK RESTROOMS







KEY: NORTH PARCEL

- 1 ACCESS TO SOUTHERN PARK
- 2 NEIGHBORHOOD ACCESS
- 3 PARKING AREA (12)
- 4 PARKING AREA (56)
- 5 LOOP TRAIL (TYP)
- 6 BOARDWALK LOOKOUT
- 7 PAVILIONS (2) / PICNIC GROVE
- 8 RESTROOMS
- 9 MULTI USE FIELD
- 10 PAINTBALL WOODLAND FIELD (3)
- 11 MEADOW
- 12 FOOTBRIDGE (TYP)
- 13 DOG PARK (ALTERNATIVE LOCATION)
- 14 OVERHEAD ELECTRIC WIRE

KEY: SOUTH PARCEL

- |                               |                        |                             |
|-------------------------------|------------------------|-----------------------------|
| 1 NORTHERN ENTRY DRIVE        | 9 LAWN SLEDDING HILL   | 17 MULTI PURPOSE FIELDS (3) |
| 2 SOUTHERN ENTRY DRIVE        | 10 LOOP TRAIL          | 18 PARKING AREA (70 SPACES) |
| 3 PARKING AREA (77 SPACES)    | 11 DOG PARK            | 19 PARKING AREA (47 SPACES) |
| 4 PAVILION/RESTROOMS          | 12 STORMWATER MGMT     | 20 MAINTENANCE BUILDING     |
| 5 SOFTBALL FIELDS (2)         | 13 NEIGHBORHOOD ACCESS | 21 SALT STORAGE FACILITY    |
| 6 TREE RESTORATION AREA (TYP) | 14 PAVILION/RESTROOMS  | 22 EXISTING WETLANDS (TYP)  |
| 7 ACCESS TO NORTHERN SITE     | 15 BOULDER PLAZA       | 23 BOARDWALK                |
| 8 TENNIS COURTS (4)           | 16 PLAYGROUND          |                             |



